



# Council Agenda Report

To: Mayor Uhring and Honorable Members of the City Council

Prepared by: Tyler Eaton, Senior Planner

Reviewed by: Richard Mollica, Planning Director

Approved by: Steve McClary, City Manager

Date prepared: September 6, 2023 Meeting date: October 9, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (6734 Zumirez Drive; Owner: IBN Properties, LLC) (Continued from September 25, 2023)

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**RECOMMENDED ACTION:** Adopt Resolution No. 23-45 (Exhibit A) determining the project is categorically exempt from the California Environmental Quality Act (CEQA), and approving Coastal Development Permit (CDP) No. 20-068 and Demolition Permit (DP) No. 20-028 for the demolition of an existing single-family residence and construction of a new 6,284 square foot single-family residence, 986 square foot basement, 510 square foot attached garage, 462 square foot detached garage, 471 square foot detached second unit, swimming pool, two spas, onsite wastewater treatment system (OWTS) and associated development; including Site Plan Review (SPR) No. 21-009 for construction up to 24 feet in height for a flat roof, located in the Rural Residential, One-Acre (RR-1) zoning district at 6734 Zumirez Drive (IBN Properties, LLC).

**FISCAL IMPACT:** There is no fiscal impact associated with the recommended action.

**WORK PLAN:** This item was not included in the Adopted Work Plan for FY 2022-23. This project is part of normal staff operations. Staff continue to work on ongoing projects and normal business while the FY 2023-24 Work Plan is finalized.

**DISCUSSION:** This agenda report was previously distributed for the September 25, 2023 City Council meeting but was continued to the October 9, 2023 Regular City Council

meeting prior to the meeting date. No changes have been made to the report or attachments. However, the resolution has been updated to reflect the continuance.

This item was originally considered at the March 6, 2023 Planning Commission meeting. At the meeting, one Planning Commissioner recused himself leaving four to deliberate on the subject application. Multiple motions were made at the meeting with no majority vote reaching a decision. The first motion was to continue the item to a date uncertain and failed with a 2-2 split. The second motion was to deny the project, which also failed with a 2-2 split. The third motion was to approve the project, also failing with a 2-2 split vote. A fourth motion was made to recess the meeting which did not receive a second. A fifth motion was made directing staff to bring the item to the City Council after the deadlocked voting so that the applicant could get a decision on the project. The fifth motion was carried with a 4-0 vote. This is consistent with past City practice where if a project fails to receive a majority of the quorum of Planning Commissioners participating in the decision to either approve or deny, the City will bring the project to the City Council so that the applicant receives a determination.

The item before the Council is the same as considered by the Planning Commission on March 6, 2023. Staff has not further analyzed the project since the Planning Commission meeting. The applicant provided revised plans on Friday March 3, 2023, after hours. The plans include a reduction in the proposed total development square footage, eliminating an area of question for a neighbor's views. The revised plans are included within the correspondence as Exhibit B. However, staff has not analyzed whether the reduced square footage ultimately improves the neighbor's views, nor performed any other analysis of the submitted documents.

The main topics of concern discussed during the March 6, 2023 Planning Commission meeting include: whether the project is within Environmentally Sensitive Habitat Area (stream) buffer; if the project is subject to the bluff top requirements of Local Implementation Plan (LIP) Chapter 10; if the project is being constructed on slopes steeper than 25 percent, which are protected in Point Dume under LIP Chapter 4; if the project impacts scenic views from a public beach; and if the project obstructs protected views of nearby residents' documented primary view determinations. Analyses on these topics are discussed within the Planning Commission staff report, Exhibit B.

ENVIRONMENTAL REVIEW: Pursuant to the authority and criteria contained in CEQA, the Planning Department has analyzed the proposed project. The Planning Department found that this project is listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the project is categorically exempt from the provisions of CEQA pursuant to Sections 15303 (a) and (e) – New Construction. The Planning Department has further determined that none of the six exceptions to the use of a categorical exemption apply to this project (CEQA Guidelines Section 15300.2).

CORRESPONDENCE: Correspondence prior to the March 6, 2023 Planning Commission meeting is provided within Exhibit B, Attachment 4. Correspondence for the Planning Commission is provided as Exhibit C.

PUBLIC NOTICE: On August 17, 2023, a Notice of City Council Public Hearing was published in a newspaper of general circulation within the City and a public notice was mailed to the owners and occupants of all properties within a radius of 500 feet of the subject property (Exhibit D). On August 31, 2023, after the applicant provided updated mailing data, a public notice was mailed to the owners and occupants of all properties within a radius of 500 feet of the subject property that were not listed within the original mailing data.

SUMMARY: Based on the record as a whole, including but not limited to all written and oral testimony offered in connection with this matter, staff recommends that the City Council adopt Resolution No. 23-45 approving CDP No. 20-068, SPR No. 21-009, and DP No. 20-028, subject to the conditions of approval in the resolution. This is consistent with the recommendation that was provided to the Planning Commission.

EXHIBITS:

- A. City Council Resolution No. 23-45
- B. March 6, 2023 Commission Agenda Report Item 4.B. and Attachments 1-8
  - 1. Planning Commission Resolution No. 23-11
  - 2. Project Plans
  - 3. Department Review Sheets
  - 4. Public Correspondence
  - 5. Applicant's View Corridor Exhibit
  - 6. PVD No. 12-119
  - 7. PVD No. 23-001
  - 8. Public Hearing Notice
- C. March 6, 2023 Planning Commission Meeting Correspondence
- D. Public Hearing Notice

## RESOLUTION NO. 23-45

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MALIBU DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AND APPROVING COASTAL DEVELOPMENT PERMIT NO. 20-068 AND DEMOLITION PERMIT NO. 20-028 FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW 6,284 SQUARE FOOT SINGLE-FAMILY RESIDENCE, 986 SQUARE FOOT BASEMENT, 510 SQUARE FOOT ATTACHED GARAGE, 462 SQUARE FOOT DETACHED GARAGE, 471 SQUARE FOOT DETACHED SECOND UNIT, SWIMMING POOL, TWO SPAS, ONSITE WASTEWATER TREATMENT SYSTEM AND ASSOCIATED DEVELOPMENT; INCLUDING SITE PLAN REVIEW NO. 21-009 FOR CONSTRUCTION UP TO 24 FEET IN HEIGHT FOR A FLAT ROOF, LOCATED IN THE RURAL RESIDENTIAL, ONE-ACRE ZONING DISTRICT AT 6734 ZUMIREZ DRIVE (IBN PROPERTIES, LLC)

The City Council of the City of Malibu does hereby find, order and resolve as follows:

### SECTION 1. Recitals.

A. On December 29, 2020, an application for Coastal Development Permit (CDP) No. 20-068 and Demolition Permit (DP) No. 20-028 was submitted to the Planning Department by the applicant, Schmitz and Associates, Inc., on behalf of the property owner, IBN Properties, LLC. The application was routed to the City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, Los Angeles County Waterworks District No. 29 (WD29) and Los Angeles County Fire Department (LACFD) for review.

B. On April 15, 2021, Site Plan Review (SPR) No. 21-009 was added to the project for proposed construction over 18 feet in height.

C. On June 29, 2022, the applicant posted a Notice of CDP Application on the subject property and staff deemed the CDP application complete for processing.

D. On July 7, 2022, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a 500-foot radius of the subject property.

E. On August 1, 2022, the Planning Commission continued the item to a date uncertain for staff to investigate potential view concerns from the neighbors.

F. On January 26, 2023, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a 500-foot radius of the subject property.

G. On February 21, 2023, the item was continued to the March 6, 2023 Regular Planning Commission meeting.

H. On March 6, 2023, the Planning Commission held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record. The item was remanded to the City Council after a majority vote could not be reached to either approve or deny the project.

I. On August 17, 2023, a Notice of City Council Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a 500-foot radius of the subject property.

J. On August 31, 2023, a second Notice of City Council Public Hearing was mailed to all property owners within a 500-foot radius of the subject property that were not within the original mailing data used for the August 17, 2023 notice.

K. On September 11, 2023, the City Council continued the item to the September 25, 2023 City Council meeting.

L. On September 25, 2023, the City Council continued the item to the October 9, 2023 City Council meeting.

M. On October 9, 2023, the City Council held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record.

## SECTION 2. Environmental Review.

Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the City Council has analyzed the proposed project. The City Council has found that this project is listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the project is categorically exempt from the provisions of CEQA according to CEQA Guidelines Sections 15303(a) and (e) – New Construction. The City Council has further determined that none of the six exceptions to the use of a categorical exemption applies to this project (CEQA Guidelines Section 15300.2).

## SECTION 3. Coastal Development Permit Findings.

Based on evidence contained within the record, including the agenda report for the project and the hearing on October 9, 2023, and pursuant to the Local Coastal Program (LCP) Local Implementation Plan (LIP) including Sections 13.7(B) and 13.9 and Malibu Municipal Code (MMC), the City Council adopts the findings of fact, and approves CDP No. 20-068 and DP No. 20-028 for the demolition of an existing single-family residence and construction of a new 6,284 square foot single-family residence, 986 square foot basement, 510 square foot attached garage, 462 square foot detached garage, 471 square foot detached second unit, swimming pool, two spas, onsite wastewater treatment system (OWTS) and associated development; including SPR No. 21-009 for construction up to 24 feet in height for a flat roof, located in the Rural Residential, One-Acre (RR-1) zoning district at 6734 Zumirez Drive.

The project is consistent with the LCP's zoning, grading, cultural resources, water quality, and wastewater treatment requirements. With the inclusion of the proposed SPR the project, as conditioned, has been determined to be consistent with all applicable LCP codes, standards, goals, and policies. The required findings are made herein.

**A. General Coastal Development Permit (LIP Chapter 13)**

1. The project is located in the RR-1 zoning district, an area designated for rural residential uses. A single-family residence and associated development are permitted uses. The proposed project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29, and LACFD. As discussed herein, based on submitted reports, project plans, visual analysis, and site investigations, the proposed project, as conditioned, conforms to the LCP and MMC in that it meets all applicable residential development standards with the inclusion of the requested SPR.

2. The project is located between the first public road and the sea. However, the proposed project and related construction activities are not anticipated to interfere with the public's right to access the coast as the site offers no direct or indirect public beach access. Adequate public access exists nearby, and the project complies with the Coastal Act.

3. The proposed project was found to meet the development policies of the LCP and MMC, with the inclusion of the SPR and has been determined to be the least environmentally damaging alternative.

**B. Site Plan Review for Construction in Excess of 18 Feet in Height (LIP Section 13.27.5)**

SPR No. 21-009 from the development standards contained in LIP Section 13.27 will allow construction over 18 feet in height for a flat roof up to 24 feet for the proposed single-family residence.

1. The project has been reviewed for conformance with all relevant policies and provisions of the LCP. Based on submitted reports, visual impact analysis, and a detailed site investigation, the project was found to be consistent with all policies and provisions of the LCP and MMC.

2. Story poles were installed in June 2022 and demonstrate that the project is compatible with the surrounding development. Properties in the vicinity of the subject property are developed with a mix of one and two-story single-family residences and accessory structures such as second units, detached garages, swimming pools, decks and mature landscaping. As demonstrated with the story poles, due to the size, shape, and topography of the lot, the location of the proposed development will not be visible from any scenic road or located within primary views of neighboring properties. The site is visible from Paradise Cove Beach but is on the landside and will not affect scenic views of the Santa Monica Mountains or other coastal resources. Based on the existing development within the surrounding neighborhood, the proposed project is expected to blend with the surrounding built environment. Therefore, the portions of the structure exceeding 18 feet tall are not anticipated to adversely affect neighborhood character.

3. The existing size and shape of the subject property limits visibility of the proposed development from Zumirez Drive. No protected private or public views of scenic areas will be impacted in a way that is not compliant with the MMC and LCP.

4. The proposed project was found to comply with all applicable requirements of State and local law and is conditioned to comply with any relevant approvals, permits and licenses from the City of Malibu and other related agencies.

5. The proposed project was found to be consistent with the LCP in that the property is located in an area that has been identified and zoned for residential use. The proposed project was found to be consistent with the LCP in that it conforms to the residential land use designation and all applicable development standards.

6. The proposed development is not expected to significantly obstruct visually impressive scenes from private property.

#### **C. Scenic, Visual and Hillside Resource Protection (LIP Chapter 6)**

1. The proposed project is not expected to have adverse impacts on scenic or visual resources. The project has been determined not to require a view corridor due to its location along Zumirez Drive and although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.

2. The project, as conditioned, is not expected to have significant adverse scenic or visual impacts. The project has been conditioned to include limitations on lighting and colors of the materials used to prevent any visual impacts to scenic areas.

3. The project was found to be the least environmentally damaging feasible alternative.

4. The project, as designed and conditioned, is not expected to adversely affect scenic and visual resources and no feasible alternatives would avoid or substantially lessen any significant adverse impacts on scenic and visual resources.

5. The subject property is visible from Paradise Cove Beach; however, the proposed single-family residence is not expected to significantly impact public views of the Pacific Ocean and is not anticipated to block views of the Santa Monica Mountains from the beach. Therefore, the proposed development, as designed, is sited to eliminate, minimize or otherwise contribute to conformance to sensitive resource policies.

#### **D. Hazards (LIP Chapter 9)**

1. The project was found to neither be subject to nor increase the instability of the site from geologic, flood, or fire hazards. The proposed development is suitable for the intended use provided that the certified engineering geologist and/or geotechnical engineer's recommendations and governing agency's building codes are followed.

2. The project, as designed, conditioned, and approved by the City geotechnical consultant reviewers and the City Public Works Department, is not expected to have any

significant adverse impacts on the site stability or structural integrity from geologic or fire hazards due to the project design.

3. The project, as conditioned, was found to be the least environmentally damaging alternative.

4. The proposed development has been analyzed for the hazards listed in LIP Chapter 9 by the City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, and LACFD. These specialists and agencies determined that the proposed project does not impact site stability or structural integrity.

5. The proposed project, as designed and conditioned, is not expected to have adverse impacts on sensitive resources.

#### **E. Demolition Permit Findings (MMC Section 17.70.060)**

DP No. 20-028 from the development standards contained in MMC Section 17.70.060 will allow for the existing single-family home to be demolished.

1. Conditions are included in this resolution pertaining to safe demolition and construction practices required for this project. Among these include using City authorized waste haulers, use of quality building materials and licensed professionals. Regular inspections from the Building Safety Division will take place throughout the demolition and construction of this project so that the City can ensure the conditions are being met.

2. The demolition and construction activities are dependent on the approval of this project. The final demolition and construction plans will be reviewed by City staff in the building plan check process. All City departments must approve the final plans before building permits can be issued.

#### **SECTION 4. City Council Action.**

Based on the foregoing findings and evidence contained within the record, the City Council hereby approves CDP No. 20-068, SPR No. 21-009, and DP No. 20-028, subject to the following conditions.

#### **SECTION 5. Conditions of Approval.**

1. The property owners, and their successors in interest, shall indemnify and defend the City of Malibu and its officers, employees and agents from and against all liability and costs relating to the City's actions concerning this project, including (without limitation) any award of litigation expenses in favor of any person or entity who seeks to challenge the validity of any of the City's actions or decisions in connection with this project. The City shall have the sole right to choose its counsel and property owners shall reimburse the City's expenses incurred in its defense of any lawsuit challenging the City's actions concerning this project.

2. Approval of this application is to allow for the project described herein. The scope of work approved includes:

Demolition

- a. DP No. 20-028 for the demolition of the existing single-family residence and detached garage;

Construction

- b. Construction of a new 6,284 square foot two-story single-family residence with a 986 square foot basement and 510 square foot attached two-car garage;
- c. 471 square foot detached second unit;
- d. 462 square foot detached two-car garage;
- e. Permeable driveway;
- f. 42-inch tall solid and up to 6-foot visually permeable front yard fence and vehicular gate;
- g. 6-foot solid side yard walls;
- h. Swimming pool (62.67 foot long by 18.67 foot wide) and spa (13.33 foot long by 10.67 foot wide) with associated pool equipment (to be fully screened) and decking;
- i. Second unit spa (7 feet long by 7 feet wide);
- j. New landscaping;
- k. 14,076 square feet of new impermeable surfaces;
- l. Open-air garden trellises
- m. Water features;
- n. Retaining walls (not to exceed six feet in height); and
- o. Onsite Wastewater Treatment System.

Discretionary Request

- p. SPR No. 21-009 for construction up to 24 feet in height to allow for a flat roof.
3. Except as specifically changed by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved scope of work, as described in Condition No. 2 and depicted on plans on file with the Planning Department date stamped **February 8, 2023**. The proposed development shall further comply with all conditions of approval stipulated in this resolution and Department Review Sheets attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
4. Pursuant to LIP Section 13.18.2, this permit and rights conferred in this approval shall not be effective until the property owner signs, notarizes and returns the Acceptance of Conditions Affidavit accepting the conditions of approval set forth herein. The applicant shall file this form with the Planning Department prior to the issuance of any development permits.
5. The applicant shall digitally submit a complete set of plans to the Planning Department for consistency review and approval prior to plan check and again prior to the issuance of any building or development permits.

6. The CDP shall expire if the project has not commenced within three (3) years after issuance of the permit, unless a time extension has been granted. Extension of the permit may be granted by the approving authority for due cause. Extensions shall be requested in writing by the applicant or authorized agent prior to expiration of the three-year period and shall set forth the reasons for the request. In the event of an appeal, the CDP shall expire if the project has not commenced within three years from the date the appeal is decided by the decision-making body or withdrawn by the appellant.
7. Any questions of intent or interpretation of any condition of approval will be resolved by the Planning Director upon written request of such interpretation.
8. All development shall conform to requirements of the City of Malibu Environmental Sustainability Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29 and LACFD, as applicable. Notwithstanding this review, all required permits shall be secured.
9. Minor changes to the approved plans or the conditions of approval may be approved by the Planning Director, provided such changes achieve substantially the same results and the project is still in compliance with the Malibu Municipal Code and the Local Coastal Program. Revised plans reflecting the minor changes and additional fees shall be required.
10. Pursuant to LIP Section 13.20, development pursuant to an approved CDP shall not commence until the CDP is effective. The CDP is not effective until all appeals, including those to the California Coastal Commission (CCC), have been exhausted. In the event that the CCC denies the permit or issues the permit on appeal, the coastal development permit approved by the City is void.
11. The property owner must submit payment for all outstanding fees payable to the City prior to issuance of any building permit, including grading or demolition.
12. The property owner shall comply with all provisions of the MMC and LIP.

### **Cultural Resources**

13. In the event that potentially important cultural resources are found in the course of geologic testing or during construction, work shall immediately cease until a qualified archaeologist can provide an evaluation of the nature and significance of the resources and until the Planning Director can review this information. Thereafter, the procedures contained in LIP Chapter 11 and those in MMC Section 17.54.040(D)(4)(b) shall be followed.
14. If human bone is discovered during geologic testing or during construction, work shall immediately cease and the procedures described in Section 7050.5 of the California Health and Safety Code shall be followed. Section 7050.5 requires notification of the coroner. If the coroner determines that the remains are those of a Native American, the applicant shall notify the Native American Heritage Commission by phone within 24 hours. Following notification of the Native American Heritage Commission, the procedures described in Section 5097.94 and Section 5097.98 of the California Public Resources Code shall be followed.

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**Lighting**

15. Exterior lighting must comply with the Dark Sky Ordinance and shall be minimized, shielded, or concealed and restricted to low intensity features, so that no light source is directly visible from public view. Permitted lighting shall conform to the following standards:
  - a. Lighting for walkways shall be limited to fixtures that do not exceed two feet in height and are directed downward, and limited to 850 lumens (equivalent to a 60-watt incandescent bulb);
  - b. Security lighting controlled by motion detectors may be attached to the residence provided it is directed downward and is limited to 850 lumens;
  - c. Driveway lighting shall be limited to the minimum lighting necessary for safe vehicular use. The lighting shall be limited to 850 lumens;
  - d. Lights at entrances as required by the Building Code shall be permitted provided that such lighting does not exceed 850 lumens;
  - e. Site perimeter lighting shall be prohibited; and
  - f. Outdoor decorative lighting for aesthetic purposes is prohibited.
16. Night lighting for sports courts or other private recreational facilities shall be prohibited.
17. No permanently installed lighting shall blink, flash, or be of unusually high intensity or brightness. Lighting levels on any nearby property from artificial light sources on the subject property(ies) shall not produce an illumination level greater than one foot-candle.
18. Night lighting from exterior and interior sources shall be minimized. All exterior lighting shall be low intensity and shielded directed downward and inward so there is no offsite glare or lighting of natural habitat areas. High intensity lighting of the shore is prohibited.
19. String lights are allowed in occupied dining and entertainment areas only and must not exceed 3,000 Kelvin.
20. Motion sensor lights shall be programmed to extinguish ten minutes after activation.
21. Three violations of the conditions by the same property owner will result in a requirement to permanently remove the outdoor light fixture(s) from the site.
22. Up-lighting of landscaping is prohibited.

**Fencing/Walls/Screening**

23. Any above-ground equipment shall be screened from view by a solid wall or fence on all four sides. The fence or walls shall comply with LIP Section 3.5.3(A).
24. The applicant shall include an elevation of the proposed electronic driveway gate on the architectural plans that are submitted for building plan check. The gate and all fencing along the front property line shall comply with the regulations set forth in LIP Section 3.5.
25. The height of fences and walls shall comply with LIP Section 3.5.3(A). No retaining wall shall exceed six feet in height or 12 feet in height for a combination of two or more walls.

26. New boundary fencing of any single area exceeding  $\frac{1}{2}$  acre shall be of an open rail-type design with a wooden rail at the top (instead of wire), be less than 40 inches high, and have a space greater than 14 inches between the ground and the bottom post or wire. A split rail design that blends with the natural environment is preferred.

### **Demolition/Solid Waste**

27. Prior to demolition activities, the applicant shall receive Planning Department approval for compliance with conditions of approval.
28. The applicant/property owner shall contract with a City approved hauler to facilitate the recycling of all recoverable/recyclable material. Recoverable material shall include but shall not be limited to: asphalt, dirt and earthen material, lumber, concrete, glass, metals, and drywall.
29. Prior to the issuance of a building/demolition permit, an Affidavit and Certification to implement waste reduction and recycling shall be signed by the Owner or Contractor and submitted to the Environmental Sustainability Department. The Affidavit shall indicate the agreement of the applicant to divert at least 65 percent (in accordance with CalGreen) of all construction waste from the landfill.
30. Upon plan check approval of demolition plans, the applicant shall secure a demolition permit from the City. The applicant shall comply with all conditions related to demolition imposed by the Building Official.
31. No demolition permit shall be issued until building permits are approved for issuance. Demolition of the existing structure and initiation of reconstruction must take place within a six-month period. Dust control measures must be in place if construction does not commence within 30 days.
32. The project developer shall utilize licensed subcontractors and ensure that all asbestos-containing materials and lead-based paints encountered during demolition activities are removed, transported, and disposed of in full compliance with all applicable federal, state and local regulations.
33. Any building or demolition permits issued for work commenced or completed without the benefit of required permits are subject to appropriate "Investigation Fees" as required in the Building Code.
34. Upon completion of demolition activities, the applicant shall request a final inspection by the Building Safety Division.

### **Construction / Framing**

35. Prior to the commencement of work, the applicant shall submit a copy of their Construction Management Plan. The Construction Management Plan shall include a dedicated parking location for construction workers, not within the public right of way.

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36. A construction staging plan shall be reviewed and approved by the Planning Director prior to plan check submittal.
  37. Construction hours shall be limited to Monday through Friday from 7:00 a.m. to 7:00 p.m. and Saturdays from 8:00 a.m. to 5:00 p.m. No construction activities shall be permitted on Sundays or City-designated holidays.
  38. Construction management techniques, including minimizing the amount of equipment used simultaneously and increasing the distance between emission sources, shall be employed as feasible and appropriate. All trucks leaving the construction site shall adhere to the California Vehicle Code. In addition, construction vehicles shall be covered when necessary; and their tires rinsed prior to leaving the property.
  39. All new development, including construction, grading, and landscaping shall be designed to incorporate drainage and erosion control measures prepared by a licensed engineer that incorporate structural and non-structural Best Management Practices (BMPs) to control the volume, velocity and pollutant load of storm water runoff in compliance with all requirements contained in LIP Chapter 17, including:
    - a. Construction shall be phased to the extent feasible and practical to limit the amount of disturbed areas present at a given time.
    - b. Grading activities shall be planned during the southern California dry season (April through October).
    - c. During construction, contractors shall be required to utilize sandbags and berms to control runoff during on-site watering and periods of rain in order to minimize surface water contamination.
    - d. Filter fences designed to intercept and detain sediment while decreasing the velocity of runoff shall be employed within the project site.
  40. When framing is complete, a site survey shall be prepared by a licensed civil engineer or architect that states the highest roof member elevation, lowest finish floor elevation and elevation of centerline of Malibu Road. Prior to the commencement of further construction activities, said document shall be submitted to the assigned Building Inspector and Planning Department for review and sign off on framing.
  41. For the transportation of heavy construction equipment and/or material, which requires the use of oversized-transport vehicles on State highways, the applicant / property owner is required to obtain a transportation permit from the California Department of Transportation.

### **Waste Management**

42. The applicant/property owner shall contract with a City approved hauler to facilitate the recycling of all recoverable/recyclable material. Recoverable material shall include but shall not be limited to: asphalt, dirt and earthen material, lumber, concrete, glass, metals and drywall.
43. An Affidavit and Certification to implement a Waste Reduction and Recycling Plan (WRRP) signed by the Owner or Contractor shall be submitted to the Environmental and Sustainability Department for review and approval. The WRRP shall indicate the

agreement of the applicant to divert at least 50 percent of all construction waste generated by the project.

### **Biology/Landscaping**

44. Pursuant to LIP Section 4.6.1(A), new development shall be designed and constructed to avoid encroachments on slopes of 25 percent (4:1) grade or steeper, including fencing.
45. Except as permitted pursuant to the provisions in LUP policies 3.18 and 3.20, throughout the City of Malibu, development that involves the use of pesticides, including insecticides, herbicides, rodenticides or any other similar toxic chemical substances, shall be prohibited in cases where the application of such substances would have the potential to significantly degrade Environmentally Sensitive Habitat Areas or coastal water quality or harm wildlife. Herbicides may be used for the eradication of invasive plant species or habitat restoration, but only if the use of non-chemical methods for prevention and management such as physical, mechanical, cultural, and biological controls are infeasible. Herbicides shall be restricted to the least toxic product and method, and to the maximum extent feasible, shall be biodegradable, derived from natural sources, and used for a limited time.
46. Prior to installation of any landscaping, the applicant shall obtain a plumbing permit for the proposed irrigation system from the Building Safety Division.
47. Prior to or at the time of a Planning final inspection, the property owner/applicant shall submit to the case planner a copy of the plumbing permit for the irrigation system installation that has been signed off by the Building Safety Division.
48. Prior to final plan check approval, provide landscape water use approval from WD29.
49. Invasive plant species, as determined by the City of Malibu, are prohibited.
50. All new and existing vegetation forming a view impermeable condition (hedge) serving the same function as a fence or wall, occurring within the side or rear yard setback shall be maintained at or below six feet in height. View impermeable hedges occurring within the front yard setback serving the same function as a fence or wall shall be maintained at or below 42 inches in height. Three violations of this condition will result in a requirement to permanently remove the vegetation from the site.
51. Vegetation shall be situated on the property so as not to significantly obstruct the primary view from private property at any given time (given consideration of its future growth).
52. No non-native plant species shall be approved greater than 50 feet from the residential structure.
53. Any site preparation activities, including removal of vegetation, between February 1 and September 15 will require nesting bird surveys by a qualified biologist at least 5 days prior to initiation of site preparation activities. Should active nests be identified, a buffer area no less than 150 feet (300 feet for raptors) shall be fenced off until it is determined by a qualified biologist that the nest is no longer active. A report discussing the results of nesting

bird surveys shall be submitted to the City within two business days of completing the surveys.

54. The landscape plan shall prohibit the use of building materials treated with toxic compounds such as creosote or copper arsenate.
55. The use of wood chips and shredded rubber is prohibited anywhere on the site. Flammable mulch material, including shredded bark, pine needles, and artificial turf, are prohibited between zero and five feet of a structure. Non-continuous use of flammable mulch (excluding wood chips and shredded rubber) is allowed between 5 and 30 feet from the eave/overhang of a structure with limited application areas. Any mulch materials (excluding wood chips and shredded rubber) are allowed 30 feet or more from a structure with no limitation on application area.

### **Fire Department/Fuel Modification**

56. The project shall receive LACFD approval of a Final Fuel Modification Plan prior to the issuance of final building permits.
57. The project is required to have an interior automatic sprinkler system.

### **Public Works**

58. This project proposes to construct a new driveway within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant shall obtain encroachment permits from the Public Works Department for the proposed driveway. The driveway shall be constructed of either 6-inches of concrete over 4-inches of aggregate base, or 4-inches of asphalt concrete over 6-inches of aggregate base. The driveway shall be flush with the existing grades with no curbs.
59. Several existing private improvements are located within the City's right-of-way, such as (but not limited to) landscaping, railroad ties, fencing. These improvements are required to be removed as part of this project and must be shown on the plans. The applicant shall place notes on the plans for the removal of existing encroachments within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant shall obtain encroachment permits from the Public Works Department for the removal of the private improvements within the City's right-of-way.
60. Clearing and grading during the rainy season (extending from November 1 to March 31) shall be prohibited for development that:
  - a. Is located within or adjacent to ESHA, or
  - b. Includes grading on slopes greater than 4 to 1.

Approved grading for development that is located within or adjacent to ESHA or on slopes greater than 4 to 1 shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 31, unless the City determines that completion of grading would be more protective of resources.

61. Exported soil from a site shall be taken to the Los Angeles County Landfill or to a site with an active grading permit and the ability to accept the material in compliance with LIP Section 8.3.
62. The ocean between Latigo Point and the West City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. This designation allows discharge of storm water only where it is essential for flood control or slope stability, including roof, landscape, road and parking lot drainage, to prevent soil erosion, only occurs during wet weather, and is composed of only storm water runoff. The applicant shall provide a drainage system that accomplishes the following:
- Installation of BMPs that are designed to treat the potential pollutants in the storm water runoff so that it does not alter the natural ocean water quality. These pollutants include trash, oil and grease, metals, bacteria, nutrients, pesticides, herbicides and sediment.
  - Prohibits the discharge of trash.
  - Only discharges from existing storm drain outfalls are allowed. No new outfalls will be allowed. Any proposed or new storm water discharged shall be routed to existing storm drain outfalls and shall not result in any new contribution of waste to the ASBS (i.e., no additional pollutant loading).
  - Elimination of non-storm water discharges.
63. A Local Storm Water Pollution Prevention Plan (LSWPPP) shall be provided prior to issuance of grading/building permits. This plan shall include an Erosion and Sediment Control Plan (ESCP) that includes, but is not limited to:

Erosion Controls Scheduling	Erosion Controls Scheduling
	Preservation of Existing Vegetation
Sediment Controls	Silt Fence
	Sand Bag Barrier
	Stabilized Construction Entrance
Non-Storm Water Management	Water Conservation Practices
	Dewatering Operations
Waste Management	Material Delivery and Storage
	Stockpile Management
	Spill Prevention and Control
	Solid Waste Management
	Concrete Waste Management
	Sanitary/Septic Waste Management

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64. All BMPs shall be in accordance to the latest version of the California Stormwater Quality Association (CASQA) BMP Handbook. Designated areas for the storage of construction materials, solid waste management, and portable toilets must not disrupt drainage patterns or subject the material to erosion by site runoff.
  65. A Water Quality Mitigation Plan (WQMP) is required for this project. The WQMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The WQMP shall meet all the requirements of the City's current Municipal Separate Stormwater Sewer System (MS4) permit.
  66. Hydromodification, which is alteration or disturbance of streams or natural drainage courses or human-made or altered drainage courses that have replaced natural streams or drainages and serve the same function, shall be prohibited.
    - a. Necessary water supply projects where no feasible alternative exists.
    - b. Flood protection for existing development where there is no other feasible alternative.
    - c. The improvement of fish and wildlife habitat.
  67. A State Construction activity permit is required for this project due to the disturbance of more than one acre of land for development. Provide a copy of the letter from the State Water Quality Control Board containing the WDID number prior to the issuance of grading or building permits.
  68. The consulting engineer shall sign the final plans prior to the issuance of permits.
  69. All final plans including but not limited to, the grading and drainage plan shall be reviewed and approved by the City Public Works Department.

### **Geology**

70. All recommendations of the consulting certified engineering geologist or geotechnical engineer and/or the City geotechnical staff shall be incorporated into all final design and construction including foundations, grading, sewage disposal, and drainage. Final plans shall be reviewed and approved by the City geotechnical consultant reviewers prior to the issuance of permits.
71. Final plans approved by the City geotechnical consultant reviewers shall be in substantial conformance with the approved CDP relative to construction, grading, sewage disposal and drainage. Any substantial changes may require a CDP amendment or a new CDP.

### **Swimming Pool / Spa / Mechanical Equipment**

72. Onsite noise, including that which emanates from swimming pool and air conditioning equipment, shall be limited as described in MMC Chapter 8.24 (Noise).
73. Pool and air conditioning equipment that will be installed shall be screened from view by a solid wall or fence on all four sides. The fence or walls shall comply with LIP Section 3.5.3(A).

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74. All swimming pools shall contain double walled construction with drains and leak detection systems capable of sensing a leak of the inner wall.
75. The discharge of swimming pool, spa and decorative fountain water and filter backwash, including water containing bacteria, detergents, wastes, algaecides, or other chemicals is prohibited. Swimming pool, spa, and decorative fountain water may be used as landscape irrigation only if the following items are met:
- a. The discharge water is dechlorinated, debrominated or if the water is disinfected using ozonation;
  - b. There are sufficient BMPs in place to prevent soil erosion; and
  - c. The discharge does not reach into the MS4 or to the ASBS (including tributaries).
76. Discharges not meeting the above-mentioned methods must be trucked to a Publicly Owned Wastewater Treatment Works.
77. A sign stating “It is illegal to discharge pool, spa, or water feature waters to a street, drainage course, or storm drain per MMC Section 13.04.060(D)(5)” shall be posted in the filtration and/or pumping equipment area for the property. Prior to the issuance of any permits, the applicant shall indicate the method of disinfection and the method of discharging.

### **Environmental Health**

78. Prior to the issuance of a building permit the applicant shall demonstrate, to the satisfaction of the Building Official, compliance with the City of Malibu’s Onsite Wastewater Treatment regulations including provisions of LIP Section 18.9 related to continued operation, maintenance and monitoring of onsite facilities.
79. Prior to final Environmental Health approval, a final OWTS plot plan shall be submitted showing an AOWTS design meeting the minimum requirements of the Malibu Plumbing Code (MPC) and the LCP, including necessary construction details, the proposed drainage plan for the developed property and the proposed landscape plan for the developed property. The AOWTS plot plan shall show essential features of the AOWTS and must fit onto an 11-inch by 17-inch sheet leaving a five-inch margin clear to provide space for a City applied legend. If the scale of the plans is such that more space is needed to clearly show construction details and/or all necessary setbacks, larger sheets may also be provided (up to a maximum size of 18 inches by 22 inches).
80. A final design and system specifications shall be submitted as to all components (i.e., alarm system, pumps, timers, flow equalization devices, backflow devices, etc.) proposed for use in the construction of the proposed OWTS. For all OWTS, final design drawings and calculations must be signed by a California registered civil engineer, a registered environmental health specialist or a professional geologist who is responsible for the design. The designer must also be a registered OWTS designer with the City of Malibu. The final OWTS design report and drawings shall be submitted to the City Environmental Health Administrator with the designer’s wet signature, professional registration number and stamp (if applicable).

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81. The final OWTS design report shall contain the following information (in addition to the items listed above).
- a. Required treatment capacity for wastewater treatment and disinfection systems. The treatment capacity shall be specified in terms of flow rate, gallons per day, and shall be supported by calculations relating the treatment capacity to the number of bedroom equivalents, plumbing fixture equivalents, and/or the subsurface effluent dispersal system acceptance rate. The fixture unit count must be clearly identified in association with the design treatment capacity, even if the design is based on the number of bedrooms. Average and peak rates of hydraulic loading to the treatment system shall be specified in the final design;
  - b. Sewage and effluent pump design calculations (as applicable).
  - c. Description of proposed wastewater treatment and/or disinfection system equipment. State the proposed type of treatment system(s) (e.g., aerobic treatment, textile filter ultraviolet disinfection, etc.); major components, manufacturers, and model numbers for "package" systems; and conceptual design for custom engineered systems;
  - d. Specifications, supporting geology information, and percolation test results for the subsurface effluent dispersal portion of the onsite wastewater disposal system. This must include the proposed type of effluent dispersal system (drainfield, trench, seepage pit subsurface drip, etc.) as well as the system's geometric dimensions and basic construction features. Provide seepage pit cap depth relative to original and finished grades. Supporting calculations shall be presented that relate the results of soils analysis or percolation/infiltration tests to the projected subsurface effluent acceptance rate, including any unit conversions or safety factors. Average and peak rates of hydraulic loading to the effluent dispersal system shall be specified in the final design. The projected subsurface effluent acceptance rate shall be reported in units of total gallons per day and gallons per square foot per day. Specifications for the subsurface effluent dispersal system shall be shown to accommodate the design hydraulic loading rate (i.e., average and peak OWTS effluent flow, reported in units of gallons per day). The subsurface effluent dispersal system design must take into account the number of bedrooms, fixture units and building occupancy characteristics; and
  - e. All final design drawings shall be submitted with the wet signature and typed name of the OWTS designer. If the scale of the plan is such that more space is needed to clearly show construction details, larger sheets may also be provided (up to a maximum size of 18 inch by 22 inch, for review by Environmental Health). Note: For OWTS final designs, full-size plans are required for review by the Building Safety Division and/or the Planning Department.
82. Final plans shall clearly show the locations of all existing OWTS components (serving pre-existing development) to be abandoned and provide procedures for the OWTS' proper abandonment in conformance with the Malibu Municipal Code.
83. All project traffic rated slab plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.
84. Proof of ownership of subject property shall be submitted to the City Environmental Health Administrator.

85. An operations and maintenance manual specified by the OWTS designer shall be submitted to the City Environmental Health Administrator. This shall be the same operations and maintenance manual submitted to the owner and/or operator of the proposed OWTS following installation.
86. Prior to final Environmental Health approval, a maintenance contract executed between the owner of the subject property and an entity qualified in the opinion of the City of Malibu to maintain the proposed OWTS after construction shall be submitted. Only original wet signature documents are acceptable and shall be submitted to the City Environmental Health Administrator.
87. Prior to final Environmental Health approval, a covenant which runs with the land shall be executed between the City of Malibu and the holder of the fee simple absolute as to subject real property and recorded with the Los Angeles County Recorder's Office. Said covenant shall serve as constructive notice to any future purchaser for value that the AOWTS serving subject property is an alternative method of onsite wastewater disposal pursuant to the City of Malibu Plumbing Code, Appendix K, Section 1(i). Said covenant shall be provided by the City of Malibu Environmental Health Administrator and shall be submitted to the City of Malibu with proof of recordation by the Los Angeles County Recorder.
88. Final approval by the City geotechnical consultant reviewers, City Public Works Department and City Planning Department shall be submitted to the City Environmental Health Administrator.
89. A final fee in accordance with the adopted fee schedule at the time of the final approval shall be paid to the City of Malibu for Environmental Health review of the OWTS design and system specification.
90. In accordance with MMC Chapter 15.14, an application shall be made to the Environmental and Building Safety Division for an OWTS operating permit. An operating permit fee shall be submitted with the application and a final fee shall be paid for Environmental Health review of the OWTS design and system specifications.

### **Water Service**

91. Prior to the issuance of a building permit, the applicant shall submit an updated Will Serve Letter from Los Angeles County Waterworks District No. 29 to the Planning Department indicating the ability of the property to receive adequate water service.

### **Prior to Occupancy**

92. Prior to a final Building inspection, the applicant shall provide a Recycling Summary Report (Summary Report) and obtain the approval from the Environmental Sustainability Department. Applicant must provide haul tickets and diversion information. The final Summary Report shall designate the specific materials that were land filled or recycled, and state the facilities where all materials were taken.

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93. The applicant shall request a final Planning Department inspection prior to final inspection by the City of Malibu Building Safety Division. A Certificate of Occupancy shall not be issued until the Planning Department has determined that the project complies with this coastal development permit. A temporary Certificate of Occupancy may be granted at the discretion of the Planning Director, provided adequate security has been deposited with the City to ensure compliance should the final work not be completed in accordance with this permit.
  94. Prior to final Planning inspection or other final project sign off (as applicable), the applicant shall submit to the Planning Director for review and approval a certificate of completion in accordance with the Landscape Water Conservation Ordinance (MMC Chapter 17.53). The certificate shall include the property owner's signed acceptance of responsibility for maintaining the landscaping and irrigation in accordance with the approved plans and MMC Chapter 17.53.
  95. Prior to issuance of a Certificate of Occupancy, the City Biologist shall inspect the project site and determine that all Planning Department conditions to protect natural resources are in compliance with the approved plans.
  96. Any construction trailer, storage equipment or similar temporary equipment not permitted as part of the approved scope of work shall be removed prior to final inspection and approval, and if applicable, the issuance of the certificate of occupancy.

#### **Site Specific Conditions**

97. No furniture or other attachment, whether temporary or fixed, other than the approved trellis may be placed on the deck nearest the ocean taller than 18 feet in height as measured from adjacent grade.

#### **Fixed Conditions**

98. This coastal development permit shall run with the land and bind all future owners of the property.
99. Violation of any of the conditions of this approval may be cause for revocation of this permit and termination of all rights granted there under.

#### **Deed Restrictions**

100. The property owner is required to execute and record a deed restriction which shall indemnify and hold harmless the City, its officers, agents, and employees against any and all claims, demands, damages, costs and expenses of liability arising out of the acquisition, design, construction, operation, maintenance, existence or failure of the permitted project in an area where an extraordinary potential for damage or destruction from wildfire exists as an inherent risk to life and property. The property owner shall provide a copy of the recorded document to Planning Department staff prior to final Planning Department approval.

101. Prior to final Planning Department approval, the applicant shall be required to execute and record a deed restriction reflecting lighting requirements set forth in Condition Nos. 15-22. The property owner shall provide a copy of the recorded document to the Planning Department prior to final Planning Department approval.

SECTION 6. The City Council shall certify the adoption of this resolution.

PASSED, APPROVED AND ADOPTED this 10<sup>th</sup> day of October, 2023.

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STEVE UHRING, Mayor

ATTEST:

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KELSEY PETTIJOHN, City Clerk  
(seal)

APPROVED AS TO FORM:

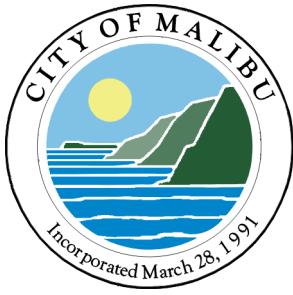
THIS DOCUMENT HAS BEEN REVIEWED  
BY THE CITY ATTORNEY'S OFFICE

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TREVOR RUSIN, Interim City Attorney

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 1.12.010 of the MMC and Code of Civil Procedure. Any person wishing to challenge the above action in Superior Court may be limited to raising only those issues they or someone else raised at the public hearing, or in written correspondence delivered to the City of Malibu at or prior to the public hearing.

COASTAL COMMISSION APPEAL – An aggrieved person may appeal the City Council's approval to the Coastal Commission within 10 working days of the issuance of the City's Notice of Final Action. Appeal forms may be found online at [www.coastal.ca.gov](http://www.coastal.ca.gov) or by calling (805) 585-1800. Such an appeal must be filed with the Coastal Commission, not the City.



# Commission Agenda Report

Planning Commission  
Meeting  
03-06-23

## Item 4.B.

To: Chair Smith and Members of the Planning Commission

Prepared by: Tyler Eaton, Senior Planner

Approved by: Richard Mollica, Planning Director

Date prepared: February 23, 2023 Meeting date: March 6, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)

Location: 6734 Zumirez Drive, within the appealable coastal zone

APN: 4466-002-001

Owner: IBN Properties, LLC

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**RECOMMENDED ACTION:** Adopt Planning Commission Resolution No. 23-11 (Attachment 1) determining the project is categorically exempt from the California Environmental Quality Act (CEQA), and approving Coastal Development Permit (CDP) No. 20-068 and Demolition Permit (DP) No. 20-028 for the demolition of an existing single-family residence and construction of a new 6,284 square foot single-family residence, 986 square foot basement, 510 square foot attached garage, 462 square foot detached garage, 471 square foot detached second unit, swimming pool, two spas, onsite wastewater treatment system (OWTS) and associated development; including Site Plan Review (SPR) No. 21-009 for construction up to 24 feet in height for a flat roof, located in the Rural Residential, One-Acre (RR-1) zoning district at 6734 Zumirez Drive (IBN Properties, LLC).

**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

## ***Project Overview***

The existing single-family residence was constructed in 1949 according to the Los Angeles County Assessor. The subject application proposes to demolish the existing single-family residence and construct a new single-family residence and associated development including a new detached garage and detached second unit. The project plans are included as Attachment 2. The project was continued at the August 1, 2022 Planning Commission meeting for staff to address potential view impact concerns from the neighbors. Staff has been able to analyze all of the correspondence and has determined that the project, as proposed, complies with MMC and LCP.

## ***View Corridor***

In June of 2022, staff received an email from a nearby resident regarding the project's potential for scenic view impacts (Attachment 4). Specifically, the resident was concerned with potential view corridor requirements. Zumirez Drive is not an LCP-designated scenic road and, as such, development along the road has not traditionally required a view corridor. However, LCP Local Implementation Plan (LIP) Section 6.5(E) states that "New development on parcels located on the ocean side of public roads, including but not limited to, Pacific Coast Highway, Malibu Road, Broad Beach Road, Birdview Avenue, Cliffside Drive shall protect public ocean views." As a result, staff asked the applicant to demonstrate that a view corridor would not provide a view of the ocean as required by the LCP. The applicant provided a view corridor exhibit (Attachment 5) which shows that the Paradise Cove mobile home park, with existing development, is situated at relatively the same elevation as the subject parcel and is aligned in such a way that a view corridor, as defined in LIP Section 6.5(E)(2), would not provide views of the Pacific Ocean (Figure 1). The ocean is visible from the parcel but only diagonally across the parcel. The LIP requires that a view corridor be a contiguous, straight corridor running along one side of the property. The applicant demonstrated that such corridor would only provide views of the Paradise Cove mobile home park and not the Pacific Ocean.

**Figure 1 – Applicant's View Corridor Exhibit**



Source: Applicant's Exhibit

### *Primary View Determinations*

Primary View Determinations (PVDs) were found within a 1,000-foot radius of the site but the proposed project is not expected to impact any protected views from the documented PVDs. Staff received concerns from two neighbors in July of 2022. The concerns voiced by the neighbors are described as follows:

### Correspondence from the Zicklins

The Zicklins provided an email and letter (Attachment 4) raising concerns with project as well as potential view impacts. The photos that the Zicklins initially provided in July 2022 appeared to have been taken from down the slope and not from the residence's documented PVD (Attachment 6). It seemed the concern identified from these photos was primarily about the proposed pool deck, designed not to exceed 18 feet in height (including 42-inch tall railing). Even from this line-of-sight, the portion of the development above 18 feet in height would not be obstructing ocean views. However, there could be potential view impacts from the deck as shown in Figure 2. However, the deck does not exceed a height of 18 feet and therefore, it is not subject to the site plan review.

**Figure 2 -Photo from the Zicklins**



Source: Zicklin Correspondence, September 2022

The Zicklins are also concerned about future lights on the deck and deck furniture such as umbrellas, and movie screens. The property will be conditioned, and will be required to record a deed restriction, to comply with the City's Dark Sky Ordinance. String lights are only allowed in occupied dining areas while the space is used pursuant to MMC Chapter 17.41. Staff has previously applied building height requirements to furniture on rooftop decks. However, to avoid any confusion, staff added Condition No. 97 to Resolution No. 23-11 restricting any type of furniture or attachment on the deck not to exceed a height of 18 feet as measured from adjacent grade.

The letter also raises concerns with noise generated from future parties on the proposed deck. Any event held at the property with 100 people or more would require a Special Event Permit with the City, and so would an event that occurred if the property were rented out even if it was less than 100 people. Special Event Permits are limited to four per year and have conditions applied to them that limit noise and other public nuisances. Additionally, the property will have to comply with MMC Chapter 8.24 which is the City's Noise Ordinance.

Lastly, the Zicklins contend that the slope along the rear of the subject property qualifies as a bluff and the proposed development is too close to the top of the bluff and

Environmentally Sensitive Habitat Area (ESHA). Staff reviewed the project's geotechnical reports and checked with City geotechnical consultant reviewers and determined that the area of concern, the eastern facing down-sloping portion of the property, is not considered either a coastal or canyon bluff and therefore the bluff setback does not apply. The project was reviewed for geologic integrity and was deemed to be in compliance with the City's standards. In terms of ESHA, the subject property is within Point Dume and ESHA within Point Dume is addressed in the LIP by restricting construction on slopes that are 25 percent or steeper, other known as 4 to 1 and steeper. The proposed project avoids these slopes as shown in the applicant's slope analysis.

#### Correspondence from Ryan Levis

Mr. Levis represents the owner of 6728 Zumirez Drive who is also concerned about potential view impacts. In December of 2022, staff documented a PVD (Attachment 7) for this property in response to the proposed development. A portion of the bluewater view will be obstructed by the proposed residence and deck. Figure 3 below includes the photo that shows the view obstruction. However, this portion of the residence and deck is under 18 feet in height and is not subject to the requested site plan review. The portion of the residence over 18 feet in height will not obstruct any bluewater views from the neighbor's documented PVD. Pursuant to MMC Section 17.40.040(A)(17), the primary view corridor shall exclude the first 18 feet of the proposed building height as measured from the existing natural grade or finish grade whichever results in a lower building height.

**Figure 3 – Photo Documented in PVD No. 23-001**



Source: PVD No. 23-001

Mr. Levis also pointed out that the proposed development is not in-keeping with other development along the same side of the street in terms of siting the development away

from the slope. His solution is to re-site the proposed development 35 feet closer to the street in order to keep it in line with the existing development on the same side of the street. The project conforms to the LCP and MMC. There are no provisions in the code that would require the proposed development to be in line with other development on the same side of the street.

### *Potential Stream*

#### Correspondence from Jaime Harnish

On February 16, 2023, Mr. Jaime Harnish, owner representative for both the Zicklins and the neighbors at 6744 Zumirez Drive, submitted correspondence regarding a potential stream with riparian habitat on the eastern side of the property (Attachment 4). The subject property is in Point Dume. LIP Section 4.6.1(A) states that “[n]ew development shall provide a buffer of no less than 100 feet in width from the outer edge of the canopy of riparian vegetation. Where riparian vegetation is not present, the buffer shall be measured from the outer edge of the bank of the subject stream. However, in the Point Dume area, new development shall be designed to avoid encroachment on slopes of 25 percent grade or steeper.” As stated, the LCP addresses streams differently in Point Dume versus other parts of the City. Instead of a 100-foot stream ESHA buffer, the LCP restricts development to be sited on slopes equal to or flatter than 4 to 1. The proposed project avoids 4 to 1 slopes or steeper, which is evident on the applicant’s stamped color-coded slope analysis and geology reports submitted for the project. As a result, the proposed development is consistent with applicable ESHA requirements.

Mr. Harnish also mentions that the site is visible from the beach. The proposed development will be visible from the beach and later in this report the associated scenic resource findings are made. Staff does not expect the proposed development would have a significant visual impact from the beach. The proposed development is surrounded by mature vegetation and other surrounding development and therefore, the proposed development will be mostly visually screened and will blend in with the surrounding built environment.

### ***Surrounding Land Uses and Project Settings***

The subject property is located in the Point Dume neighborhood, south of Pacific Coast Highway (PCH) and on the east side of Zumirez Drive (Figure 4). The parcel is currently developed with a two-story single-family residence and detached garage. Properties in the vicinity of the subject property are zoned RR-1 and are developed with one and two-story single-family residences and accessory structures such as swimming pools, second units/guest houses, and detached garages.

**Figure 4 – Aerial Photograph**



Source: Malibu City GIS 2022

The subject property lies within the Appealable Jurisdiction of the California Coastal Commission as depicted on the Post-Local Coastal Program Certification Permit and Appeal Jurisdiction Map. The project area is not designated ESHA as shown on the LCP ESHA Overlay Map. According to the LCP Park Lands Map, no trails are located within the project vicinity. The parcel is visible from Paradise Cove Beach on the easterly side of the property.

Table 1 provides a summary of the lot dimensions and the lot area of the subject parcel.

Table 1 – Total Property Data	
Lot Depth	592 feet
Lot Width	98.33 feet
Gross Lot Area	58,093 square feet (1.33 acres)
Net Lot Area*	58,093 square feet (1.33 acres)

\*Net Lot Area = Gross Lot Area minus the area of access easements and 1 to 1 slopes.

Table 2 provides a summary of the neighboring surrounding land uses and lot sizes.

Table 2 – Adjacent Land Uses				
	Address	Size	Zone	Land Use
<b>North</b>	6728 Zumirez Drive	1.38 acres	RR-1	Single-Family Residence
<b>East</b>	28128 PCH	29.85 acres	MHR <sup>1</sup>	Paradise Cove Mobile Home Park
<b>West</b>	6725 Zumirez Drive	1.05 acres	RR-1	Single-Family Residence
	6747 Zumirez Drive	1.83 acres	RR-1	Single-Family Residence
<b>South</b>	6744 Zumirez Drive	1.36 acres	RR-1	Single-Family Residence

### ***Project Description***

The proposed scope of work is as follows (Attachment 2 – Project Plans):

#### **Demolition**

- Demolition of the existing single-family residence and detached garage;

#### **Construction**

- Construction of a new 6,284 square foot two-story single-family residence with a 986 square foot basement and 510 square foot attached two-car garage;
- 471 square foot detached second unit;
- 462 square foot detached two-car garage;
- Permeable driveway;
- 42-inch tall solid and up to 6-foot visually permeable front yard fence and vehicular gate;
- 6-foot solid side yard walls;
- Swimming pool (62.67 feet long by 18.67 feet wide) and spa (13.33 feet long by 10.67 feet wide) with associated pool equipment (to be fully screened) and decking;
- Second unit spa (7 feet long by 7 feet wide);
- New landscaping;
- 14,076 square feet of new impermeable surfaces;
- Open-air garden trellises
- Water features;
- Retaining walls (not to exceed six feet in height); and
- OWTS.

#### **Discretionary Request**

- SPR No. 21-009 for construction up to 24 feet in height to allow for a flat roof.

#### **Proposed Total Development Square Footage (TDSF)**

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<sup>1</sup> MHR is an acronym for Mobilehome Residential; LIP Chapter 3.3.

• Single-family residence w/ attached garage	6,794 sq. ft.
• Second unit	471 sq. ft.
• <u>Detached garage</u>	<u>462 sq. ft.</u>
<b>Total:</b>	<b>7,727 sq. ft.</b>

### ***LCP Analysis***

The LCP consists of the Land Use Plan (LUP) and the LIP. The LUP contains programs and policies to implement the Coastal Act in Malibu. The purpose of the LIP is to carry out the policies of the LUP. The LIP contains specific policies and regulations to which every project requiring a CDP must adhere.

There are 14 LIP chapters that potentially apply depending on the nature and location of the proposed project. Of these, five are for conformance review only and contain no findings: 1) Zoning, 2) Grading, 3) Archaeological/Cultural Resources, 4) Water Quality, and 5) OWTS. These chapters are discussed in the *LIP Conformance Analysis* section.

The nine remaining LIP chapters do contain required findings: 1) Coastal Development Permit findings; 2) ESHA; 3) Native Tree Protection; 4) Scenic, Visual and Hillside Resource Protection; 5) Transfer of Development Credits; 6) Hazards; 7) Shoreline and Bluff Development; 8) Public Access; and 9) Land Division. For the reasons described in this report, including the project site, the scope of work and substantial evidence in the record, only the following chapters and associated findings are applicable to the project: Coastal Development Permit (including the required findings for the SPR), Scenic, Visual and Hillside Resource Protection and Hazards. Findings have also been included for the proposed demolition permit as required by the MMC. These chapters are discussed in the *LIP Findings* section of this report.

### ***LIP Conformance Analysis***

The proposed project has been reviewed by the Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consulting reviewers, City Public Works Department, Los Angeles County Waterworks District No. 29 (WD29), and the Los Angeles County Fire Department (LACFD) (Attachment 3 – Department Review Sheets). These specialists found the project, as proposed and conditioned, to be consistent with all applicable LCP codes, standards, goals and policies with the inclusion of SPR No. 21-009.

### **Zoning (LIP Chapter 3)**

The proposed project is subject to non-beachfront residential development and design standards set forth under LIP Sections 3.5 and 3.6. Table 3 provides a summary and indicates the proposed project meets those standards, inclusive of the requested SPR.

<b>Table 3 – LCP Zoning Conformance</b>			
<b>Development Requirement</b>	<b>Allowed/ Required</b>	<b>Proposed</b>	<b>Comments</b>
<b>SETBACKS (ft.)</b>			
Front Yard	65 ft.	142 ft., 5 in.	Complies
Rear Yard	88 ft., 10 in.	139 ft. 6 in.	Complies
10% Side Yard (south)	9 ft., 10 in.	9 ft., 10 in.	Complies
25% Cumulative Yard	24 ft., 7 in.	24 ft., 7 in.	Complies
<b>PARKING</b>			
Enclosed	2	4	Complies
Unenclosed	2	2	Complies
<b>TDSF</b>	7,760 sq. ft.	7,727 sq. ft.	Complies
<b>IMPERMEABLE COVERAGE</b>	17,428 sq. ft.	14,076 sq. ft.	Complies
<b>HEIGHT (ft.)</b>	18 ft.	24 ft. (Flat Roof)	SPR 21-009
<b>1<sup>st</sup> Floor x 2/3<sup>rd</sup>s = 2<sup>nd</sup> Floor square feet</b>	5,222 sq. ft. x 2/3 = 3,499 sq. ft.	1,572 sq. ft.	Complies
<b>SITE OF CONSTRUCTION</b>	Flatter than 4 to 1	Flatter than 4 to 1	Complies
<b>NON-EXEMPT GRADING</b>	< 1,000 cubic yards	920 cubic yards	Complies
<b>FENCES/WALLS/HEDGES/GATES</b>			
Front Yard	42-inches solid w/ area up to six feet to remain view permeable	42-inches solid w/ area up to six feet to remain view permeable	Complies

#### ESHA (LIP Chapter 4)

Pursuant to LIP Section 4.6.1(A), new development in Point Dume shall be designed to avoid encroachment on slopes of 25 percent grade or steeper. All of the proposed development will be sited to avoid 25 percent slopes and steeper, consistent with LIP Chapter 4. The proposed development will all take place within the two-acre convex development area as defined in LIP Section 3.6(H).

#### Grading (LIP Chapter 8)

LIP Section 8.3 ensures that new development minimizes the visual resource impacts of grading and landform alteration by restricting the amount of non-exempt grading to a maximum of 1,000 cubic yards for a residential parcel. As summarized in Table 4, the project includes 920 cubic yards of non-exempt grading. Therefore, the proposed project complies with grading requirements set forth under LIP Section 8.3.

<b>Table 4 – LCP Grading Conformance</b>						
	<b>Exempt**</b>			<b>Non-Exempt</b>	<b>Remedial</b>	<b>Total</b>
	<b>R&amp;R*</b>	<b>Understructure</b>	<b>Safety***</b>			
<b>Cut</b>	3,950 cy	1,460 cy	210	640 cy	0	6,260 cy
<b>Fill</b>	3,950 cy	30 cy	0	280 cy	0	4,260 cy
<b>Total</b>	<b>7,900 cy</b>	<b>1,490 cy</b>	<b>210</b>	<b>920 cy</b>	<b>0</b>	<b>10,520 cy</b>
<b>Import</b>	0	0	0	0	0	0
<b>Export</b>	0	1,430 cy	210	360 cy	0	2,000 cy

\*Note: R&R= Removal and Recompaction; cy = cubic yards

\*\*Exempt grading includes all Removal and Recompaction (R&R), understructure and safety grading. Safety grading is the incremental grading required for fire department access (such as turnouts, hammerheads and turnarounds and any other increases in driveway width above 15 feet required by the Los Angeles County Fire Department).

### Archaeological / Cultural Resources (LIP Chapter 11)

LIP Chapter 11 requires certain procedures be followed to determine potential impacts on archaeological resources. The project site has been evaluated for potential impacts to archaeological resources in a Phase 1 Archaeological Report, prepared by Robert Wlodarski of Historical, Environmental, Archaeological, Research, Team (H.E.A.R.T.), dated December 2018. The report concluded that no cultural resources were discovered within the project area.

Nevertheless, a condition of approval is included which states that in the event that potentially important cultural resources be found in the course of geologic testing or during construction, work shall immediately cease until a qualified archaeologist can provide an evaluation of the nature and significance of the resources and until the Planning Director can review this information.

### Water Quality (LIP Chapter 17)

The City Public Works Department reviewed and approved the proposed project for conformance to LIP Chapter 17 requirements for water quality protection. A standard condition of approval for this project requires that prior to the issuance of any development permit, a Local Storm Water Pollution Prevention Plan incorporating construction-phase Erosion and Sediment Control Plan and Best Management Practices, must be approved by the City Public Works Department. Additionally, the ocean between Latigo Point and the western City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. As such, the applicant's drainage system is required to retain all non-storm water runoff on the property without discharge to the ASBS, and to maintain the natural water quality within the ASBS by treating storm runoff for pollutants in residential storm runoff that would cause a degradation of ocean water quality in the ASBS. A condition is also included requiring a Water Quality Mitigation Plan. With the implementation of these conditions, the proposed project conforms to the water quality protection standards of LIP Chapter 17.

## Wastewater Treatment System Standards (LIP Chapter 18)

LIP Chapter 18 addresses OWTS. LIP Section 18.7 includes specific siting, design, and performance requirements. The project has an OWTS to serve the existing and proposed development, which includes a 7,540-gallon MicroSepTec ES25 tank with an ultraviolet disinfection unit, two seepage pits, and two future seepage pits. The OWTS will be located towards the western portion of the property. The OWTS conformance review was completed for five bedrooms and 119 fixture units for the single-family residence and one bedroom and 16 fixture units for the second unit. The OWTS has been reviewed by the City Environmental Health Administrator and found to meet the minimum requirements of the LCP and MMC.

### **LIP Findings**

#### **A. Coastal Development Permit (LIP Chapter 13)**

Pursuant to LIP Section 13.9, the following four findings need to be made on all coastal development permits.

*Finding 1. That the project as described in the application and accompanying materials, as modified by any conditions of approval, conforms with the certified City of Malibu Local Coastal Program.*

The project is located in the RR-1 zoning district, an area designated for rural residential uses. A single-family residence and associated development are permitted uses. The proposed project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29, and LACFD. As discussed herein, based on submitted reports, project plans, visual analysis, and site investigations, the proposed project, as conditioned, conforms to the LCP and MMC in that it meets all applicable residential development standards with the inclusion of the requested SPR.

*Finding 2. If the project is located between the first public road and the sea, that the project is in conformity to the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).*

The project is located between the first public road parallel to the sea. However, the proposed project and related construction activities are not anticipated to interfere with the public's right to access the coast as the site offers no direct or indirect public beach access. Adequate public access exists nearby, and project complies with Coastal Act.

*Finding 3. The project is the least environmentally damaging alternative.*

Alternative Project(s) – The applicant could have remodeled the existing structure with proposed additions. Remodeling and adding to the residence would be less impactful to the site, although the original house was constructed in 1949 and is not in compliance with today's building code and possibly City's design standards.

In June of 2022, staff visited the project site to document the story poles and reviewed alternate site locations for the proposed project. The structures could be clustered closer together to limit the required fuel modification as stated LIP Section 3.6(N)(1)(c)(i). However, the subject and neighboring parcels are mostly devoid of native vegetation and no ESHA will be affected by the required fuel modification. Clustering the structures closer together would result in generally the same amount of required fuel modification and have similar impacts as proposed. The proposed second unit and detached garage will be clustered together, separated from the main house by a Fire Department turnaround to retain some privacy. All structures are proposed within the required two-acre convex development area as required by LIP Section 3.6(H). Many properties along Zumirez Drive are developed with similar accessory structures and siting.

Another alternative would be to site the proposed main residence further back from the steeper slopes to east of the property. This alternative would provide better views for the neighboring parcels. However, as mentioned in the "Project Overview" section above, the project is in conformance with the LCP and MMC as proposed.

Additionally, the applicant could have proposed a smaller, single-story home to avoid the site plan review. However, the proposed project will comply with the LCP and the property will be within the allowed TDSF. No view impacts or impacts to ESHA are anticipated as a result of the proposed development.

Proposed Project – The project consists of the demolition of the existing residence and construction of a new single-family residence, second unit, detached garage, swimming pool, two spas and associated development, all of which are permitted uses within the RR-1 zoning classification of the subject property. The project also complies with the impermeable coverage calculation, TDSF calculation, two-thirds rule, and setback requirements of the LCP. The selected location for the proposed development has been reviewed and conditionally approved by the City Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29, and the LACFD and the project meets the City's residential development policies of the LCP and MMC. The proposed development is consistent with existing development in the area and has been determined not to result in adverse impacts. Therefore, there are not project alternatives that would provide a significant benefit to the environment compared to the proposed project. The proposed project meets the development policies of the LCP and MMC, with the inclusion of the SPR and has been determined to be the least environmentally damaging alternative.

*Finding 4. If the project is located in or adjacent to an environmentally sensitive habitat area pursuant to Chapter 4 of the Malibu LIP (ESHA Overlay), that the project conforms with the recommendations of the Environmental Review Board, or if it does not conform with the recommendations, findings explaining why it is not feasible to take the recommended action.*

The proposed development is located in Point Dume. As such, the proposed development has been sited on slopes flatter than 4 to 1 consistent with the ESHA requirements in the area. As a result, the proposed project is not subject to review by the Environmental Review Board (ERB). Therefore, this finding does not apply.

**B. Site Plan Review for Construction in Excess of 18 Feet in Height (LIP Section 13.27.5)**

LIP Section 13.27.5(A) requires that the City makes four findings in the consideration and approval of a site plan review for construction exceeding the City's base 18-foot height limit to a maximum of 24 feet with a flat roof and 28 feet with a pitched roof. Two additional findings are required pursuant to MMC Section 17.62.060. The applicant is proposing to construct a new two-story single-family residence that is proposed to be 24 feet in height. Based on the evidence in the record, the findings of fact for SPR No. 21-009 are made as follows:

*Finding 1. The project is consistent with policies and provisions of the Malibu LCP.*

As stated in Section A, the project has been reviewed for conformance with all relevant policies and provisions of the LCP. Based on submitted reports, visual impact analysis, and a detailed site investigation, the project is consistent with all policies and provisions of the LCP and MMC.

*Finding 2. The project does not adversely affect neighborhood character.*

Story poles were installed in June 2022. Staff visited the project site in June 2022, photo-documented the story poles and evaluated the project for conformance with City codes. Properties in the vicinity of the subject property are developed with a mix of one and two-story single-family residences and accessory structures such as second units, detached garages, and swimming pools. As demonstrated with story poles, due to the size, shape, and topography of the lot, the location of the proposed development will not be visible from any scenic road or located within primary views of neighboring properties. The site is visible from Paradise Cove Beach but is on the landside and will not affect scenic views of the Santa Monica Mountains or other coastal resources. Based on the existing development within the surrounding neighborhood, the proposed project is expected to blend with the surrounding built environment. Therefore, the portions of the structure exceeding 18 feet tall are not anticipated to adversely affect neighborhood character.

*Finding 3. The project provides maximum feasible protection to significant public views as required by Chapter 6 of the Malibu LIP.*

The existing size and shape of the subject property limits visibility of the proposed development from Zumirez Drive. PVDs were discovered within a 1,000-foot radius of the site but none will be impacted by the proposed development. As stated in Finding 2, no private or public views of scenic areas will be impacted.

*Finding 4. The proposed project complies with all applicable requirements of state and local law.*

The proposed project will comply with all applicable requirements of State and local law and is conditioned to comply with any relevant approvals, permits and licenses from the City of Malibu and other related agencies.

*Finding 5. The project is consistent with the City's general plan and local coastal program.*

The proposed project is consistent with the LCP in that the property is located in an area that has been identified and zoned for residential use. The proposed project is also consistent with the City's General Plan and LCP. The goals and policies of the General Plan intend to maintain rural residential character in this area, and all components of the project are consistent with these goals. The proposed project is consistent with the LCP in that it conforms to the residential land use designation and all applicable development standards.

*Finding 6. The project does not obstruct visually impressive scenes of the Pacific Ocean, off-shore islands, Santa Monica Mountains, canyons, valleys, or ravines from the main viewing area of any affected principal residence as defined in MMC Section 17.40.040(A)(17).*

As stated in Finding 2, the proposed development will not significantly impede any private visually impressive views of the Pacific Ocean or other scenic areas indicated in the LCP or MMC.

### **C. Environmentally Sensitive Habitat Area Overlay (LIP Chapter 4)**

As determined by the City Biologist, the LCP ESHA and Marine Resources Map, the subject parcel is in Point Dume and does not contain ESHA. The proposed development is sited on slopes flatter than 4 to 1 consistent with the ESHA requirements. Therefore, the findings of LIP Chapter 4 are not applicable.

#### **D. Native Tree Protection (LIP Chapter 5)**

There are no protected native trees on or adjacent to the subject parcel. Therefore, the findings contained in LIP Chapter 5 are not applicable.

#### **E. Scenic, Visual and Hillside Resource Protection (LIP Chapter 6)**

The Scenic, Visual and Hillside Resource Protection Chapter governs those coastal development permit applications concerning any parcel of land that is located along, provides views to or is visible from any scenic area, scenic road or public viewing area. The subject parcel is visible from Paradise Cove Beach, an LCP designated scenic area. Therefore, the findings set forth in LIP Section 6.4 are enumerated herein.

*Finding 1. The project, as proposed, will have no significant adverse scenic or visual impacts due to project design, location on the site or other reasons.*

The proposed project will not have adverse impacts on scenic or visual resources. The project has been determined not to require a view corridor due to its location along Zumirez Drive and although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.

*Finding 2. The project, as conditioned, will not have significant adverse scenic or visual impacts due to required project modifications, landscaping or other conditions.*

The project as conditioned will not have significant adverse scenic or visual impacts. The project has been conditioned to include limitations on lighting and colors of the materials used to prevent any visual impacts to scenic areas.

*Finding 3. The project, as proposed or as conditioned, is the least environmentally damaging alternative.*

As previously discussed in Section A, Finding 3, the project is the least environmentally damaging feasible alternative.

*Finding 4. There are no feasible alternatives to development that would avoid or substantially lessen any significant adverse impacts on scenic and visual resources.*

The project, as designed and conditioned, is not expected to adversely affect scenic and visual resources and no feasible alternatives would avoid or substantially lessen any significant adverse impacts on scenic and visual resources.

*Finding 5. Development in a specific location on the site may have adverse scenic and visual impacts but will eliminate, minimize or otherwise contribute to conformance to sensitive resource protection policies contained in the certified LCP.*

The subject property is visible from Paradise Cove Beach; however, the proposed single-family residence will not significantly impact public views of the Pacific Ocean and is not anticipated to block views of the Santa Monica Mountains from the beach. Therefore, the proposed development, as designed, is sited to eliminate, minimize or otherwise contribute to conformance to sensitive resource policies.

#### **F. Transfer of Development Credits (LIP Chapter 7)**

The proposed project does not include a land division or multi-family development. Therefore, the findings of LIP Chapter 7 are not applicable.

#### **G. Hazards (LIP Chapter 9)**

Pursuant to LIP Section 9.3, written findings of fact, analysis and conclusions addressing geologic, flood and fire hazards, structural integrity or other potential hazards listed in LIP Section 9.2(A) must be included in support of all approvals, denials or conditional approvals of development located on a site or in an area where it is determined that the proposed amendment has the potential to create adverse impacts upon site stability or structural integrity.

The proposed amendment has been analyzed for the hazards listed in LIP Chapter 9 and has been reviewed and approved for conformance with all relevant policies and regulations of the LCP and MMC by the Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29 and the LACFD. The required findings are made as follows:

*Finding 1. The project, as proposed will neither be subject to nor increase instability of the site or structural integrity from geologic, flood, or fire hazards due to project design, location on the site or other reasons.*

Analysis for potential hazards included review of the submitted geotechnical reports prepared by Solid Solis & Geologic Consultants, dated August 4, 2020, January 28, 2021, March 26, 2021, and May 12, 2021. According to the geotechnical reports, the proposed development was determined to not increase instability of the site or structural integrity from a geologic, flood or fire hazards perspective. It has been determined that the project is not located in a hazard zone, except that the project site is located within an extreme fire hazard area. Based on review of the project plans by the City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department and LACFD, these specialists and agencies determined that adverse impacts to the project site related to the proposed development are not expected. The proposed project will neither be subject to nor increase the instability from geologic or fire hazards. In summary, the proposed development is suitable for the intended use provided that the certified

engineering geologist and/or geotechnical engineer's recommendations and governing agency's building codes are followed.

All recommendations of the City geotechnical consultant reviewers and City Public Works Department shall be incorporated into the final design and construction, including foundations and grading. Final plans shall be reviewed and approved by the City geotechnical consultant reviewers and City Public Works Department prior to the issuance of a grading permit.

### Fire Hazard

The entire city limits of Malibu are within an identified fire hazard zone. The property is currently subject to wildfire, however, the proposed development on the subject property will not increase the site's susceptibility to wildfire. The scope of work proposed as part of this application is not expected to have an impact on wildfire hazards. The proposed development may actually decrease the site's susceptibility to wildfire through the use of appropriate building materials during construction.

The City is served by the LACFD, as well as the California Department of Forestry, if needed. In the event of major fires, the County has "mutual aid agreements" with cities and counties throughout the State so that additional personnel and firefighting equipment can augment the LACFD. Conditions of approval have been included in the resolution to require compliance with all LACFD development standards. As such, the proposed project, as designed and conditioned, will not be subject to nor increase the instability of the site or structural integrity involving wildfire hazards.

*Finding 2. The project, as conditioned, will not have significant adverse impacts on site stability or structural integrity from geologic, flood or fire hazards due to required project modifications, landscaping or other conditions.*

As stated in Finding 1, the project, as designed, conditioned, and approved by the City geotechnical consultant reviewers and City Public Works Department, does not have any significant adverse impacts on the site stability or structural integrity from geologic or fire hazards due to the project design.

*Finding 3. The project, as proposed or as conditioned, is the least environmentally damaging alternative.*

As previously stated in Section A, the project, as proposed and conditioned, is the least environmentally damaging alternative.

*Finding 4. There are no alternatives to development that would avoid or substantially lessen impacts on site stability or structural integrity.*

The proposed development has been analyzed for the hazards listed in LIP Chapter 9 by the City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department and LACFD. These specialists and agencies determined that the proposed project does not impact site stability or structural integrity.

*Finding 5. Development in a specific location on the site may have adverse impacts but will eliminate, minimize or otherwise contribute to conformance to sensitive resource protection policies contained in the certified Malibu LCP.*

As previously discussed in Section A, the proposed project, as designed and conditioned, will not have adverse impacts on sensitive resources.

#### **H. Shoreline and Bluff Development (LIP Chapter 10)**

LIP Chapter 10 applies to land that is located on or along the shoreline, a coastal bluff or bluff-top fronting the shoreline. The proposed project is not located near the shore or bluff. Therefore, LIP Chapter 10 findings do not apply.

#### **I. Public Access (LIP Chapter 12)**

LIP Section 12.4 requires public access for lateral, bluff-top, and vertical access near the ocean, trails, and recreational access for the following cases:

- A. New development on any parcel or location specifically identified in the Land Use Plan or in the LCP zoning districts as appropriate for or containing a historically used or suitable public access trail or pathway.
- B. New development between the nearest public roadway and the sea.
- C. New development on any site where there is substantial evidence of a public right of access to or along the sea or public tidelands, a blufftop trail or an inland trail acquired through use or a public right of access through legislative authorization.
- D. New development on any site where a trail, bluff top access or other recreational access is necessary to mitigate impacts of the development on public access where there is no feasible, less environmentally damaging, project alternative that would avoid impacts to public access.

The project does not meet any of the criteria above. The requirement for public access of LIP Section 12.4 does not apply and further findings are not required.

#### **J. Land Division (LIP Chapter 15)**

This project does not include a land division. Therefore, the findings of LIP Chapter 15 are not applicable.

## **K. Demolition Permit Findings (MMC Section 17.70.060)**

The application requests a demolition permit for the demolition of the existing single-family residence. The MMC requires two findings be made to allow a demolition permit. The findings are made herein.

*Finding 1. The demolition permit is conditioned to assure that it will be conducted in a manner that will not create significant adverse environmental impacts.*

Several conditions are included in the resolution pertaining to safe demolition and construction practices required for this project. Among these include using City authorized waste haulers, use of quality building materials and licensed professionals. Regular inspections from the Building Safety Division will take place throughout the demolition and construction of this project so that the City can ensure the conditions are being met.

*Finding 2. A development plan has been approved or the requirement waived by the city. (Ord. 86 § 3, 1993; prior code § 9505)*

The demolition and construction activities are dependent on the approval of this project. The final demolition and construction plans will be reviewed by City staff in the building plan check process, if approval is given. All City departments must approve the final plans before building permits can be issued.

ENVIRONMENTAL REVIEW: Pursuant to the authority and criteria contained in CEQA, the Planning Department has analyzed the proposed project. The Planning Department found that this project is listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the project is categorically exempt from the provisions of CEQA pursuant to Sections 15303 (a) and (e) – New Construction. The Planning Department has further determined that none of the six exceptions to the use of a categorical exemption apply to this project (CEQA Guidelines Section 15300.2).

CORRESPONDENCE: Staff received correspondence as described in the “Project Overview” section above. All correspondence is included as Attachment 4.

PUBLIC NOTICE: Staff published a Notice of Public Hearing in a newspaper of general circulation within the City of Malibu on January 26, 2023, and mailed the notice to property owners and occupants within a 500-foot radius of the subject property (Attachment 8).

SUMMARY: The required findings can be made that the project complies with the LCP. Further, the Planning Department’s findings of fact are supported by substantial evidence in the record. Based on the analysis contained in this report and the accompanying resolution, staff recommends approval of this project subject to the conditions of approval contained in Section 5 (Conditions of Approval) of Planning Commission Resolution No.

23-11. The project has been reviewed and conditionally approved for conformance with the LCP by Planning Department staff and appropriate City and County departments.

ATTACHMENTS:

1. Planning Commission Resolution No. 23-11
2. Project Plans
3. Department Review Sheets
4. Public Correspondence
5. Applicant's View Corridor Exhibit
6. PVD No. 12-119
7. PVD No. 23-001
8. Public Hearing Notice

CITY OF MALIBU PLANNING COMMISSION  
RESOLUTION NO. 23-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MALIBU, DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AND APPROVING COASTAL DEVELOPMENT PERMIT NO. 20-068 AND DEMOLITION PERMIT NO. 20-028 FOR THE DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW 6,284 SQUARE FOOT SINGLE-FAMILY RESIDENCE, 986 SQUARE FOOT BASEMENT, 510 SQUARE FOOT ATTACHED GARAGE, 462 SQUARE FOOT DETACHED GARAGE, 471 SQUARE FOOT DETACHED SECOND UNIT, SWIMMING POOL, TWO SPAS, ONSITE WASTEWATER TREATMENT SYSTEM AND ASSOCIATED DEVELOPMENT; INCLUDING SITE PLAN REVIEW NO. 21-009 FOR CONSTRUCTION UP TO 24 FEET IN HEIGHT FOR A FLAT ROOF, LOCATED IN THE RURAL RESIDENTIAL, ONE-ACRE ZONING DISTRICT AT 6734 ZUMIREZ DRIVE (IBN PROPERTIES, LLC)

The Planning Commission of the City of Malibu does hereby find, order and resolve as follows:

SECTION 1. Recitals.

A. On December 29, 2020, an application for Coastal Development Permit (CDP) No. 20-068 and Demolition Permit (DP) No. 20-028 was submitted to the Planning Department by the applicant, Schmitz and Associates, Inc., on behalf of the property owner, IBN Properties, LLC. The application was routed to the City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, Waterworks District No. 29 (WD29) and Los Angeles County Fire Department (LACFD) for review.

B. On April 15, 2021, Site Plan Review (SPR) No. 21-009 was added to the project for proposed construction over 18 feet in height.

C. On June 29, 2022, the applicant posted a Notice of CDP Application on the subject property and staff deemed the CDP application complete for processing.

D. On July 7, 2022, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a 500-foot radius of the subject property.

E. On August 1, 2022, the Planning Commission continued the item to a date uncertain for staff to investigate potential view concerns from the neighbors.

F. On January 26, 2023, a Notice of Planning Commission Public Hearing was published in a newspaper of general circulation within the City of Malibu and was mailed to all property owners and occupants within a 500-foot radius of the subject property.

G. On February 21, 2023, the Planning Commission granted a request for continuance from the applicant and continued the item to the March 6, 2023 Planning Commission Meeting.

H. On March 6, 2023, the Planning Commission held a duly noticed public hearing on the subject application, reviewed and considered the staff report, reviewed and considered written reports, public testimony, and other information in the record.

## SECTION 2. Environmental Review.

Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Planning Commission has analyzed the proposed project. The Planning Commission has found that this project is listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the project is categorically exempt from the provisions of CEQA according to CEQA Guidelines Sections 15303 (a) and (e) – New Construction. The Planning Commission has further determined that none of the six exceptions to the use of a categorical exemption applies to this project (CEQA Guidelines Section 15300.2).

## SECTION 3. Coastal Development Permit Findings.

Based on substantial evidence contained within the record and pursuant to Local Coastal Program (LCP) Local Implementation Plan (LIP) Sections 13.7(B) and 13.9 and Malibu Municipal Code (MMC) Chapter 17.70, the Planning Commission adopts and approves the analysis in the agenda report, incorporated herein, the findings of fact below, and approves CDP No. 20-068 and DP No. 20-028 for the demolition of an existing single-family residence and construction of a new 6,284 square foot single-family residence, 986 square foot basement, 510 square foot attached garage, 462 square foot detached garage, 471 square foot detached second unit, swimming pool, two spas, onsite wastewater treatment system (OWTS) and associated development; including SPR No. 21-009 for construction up to 24 feet in height for a flat roof, located in the Rural Residential One-Acre (RR-1) zoning district at 6734 Zumirez Drive.

The project is consistent with the LCP's zoning, grading, cultural resources, water quality, and wastewater treatment requirements. With the inclusion of the proposed SPR the project, as conditioned, has been determined to be consistent with all applicable LCP codes, standards, goals, and policies. The required findings are made herein.

### **A. General Coastal Development Permit (LIP Chapter 13)**

1. The project is located in the RR-1 zoning district, an area designated for rural residential uses. A single-family residence and associated development are permitted uses. The proposed project has been reviewed for conformance with the LCP by the Planning Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29, and LACFD. As discussed herein, based on submitted reports, project plans, visual analysis, and site investigations, the proposed project, as conditioned, conforms to the LCP and MMC in that it meets all applicable residential development standards with the inclusion of the requested SPR.

2. The project is located between the first public road and the sea. However, the proposed project and related construction activities are not anticipated to interfere with the public's right to access the coast as the site offers no direct or indirect public beach access. Adequate public access exists nearby, and the project complies with the Coastal Act.

3. The proposed project meets the development policies of the LCP and MMC, with the inclusion of the SPR and has been determined to be the least environmentally damaging alternative.

**B. Site Plan Review for Construction in Excess of 18 Feet in Height (LIP Section 13.27.5)**

SPR No. 21-009 from the development standards contained in LIP Section 13.27 will allow construction over 18 feet in height for a flat roof up to 24 feet for the proposed single-family residence.

1. The project has been reviewed for conformance with all relevant policies and provisions of the LCP. Based on submitted reports, visual impact analysis, and a detailed site investigation, the project is consistent with all policies and provisions of the LCP and MMC.

2. Story poles were installed in June 2022 and demonstrate that the project is compatible with the surrounding development. Properties in the vicinity of the subject property are developed with a mix of one and two-story single-family residences and accessory structures such as second units, detached garages, swimming pools, decks and mature landscaping. As demonstrated with the story poles, due to the size, shape, and topography of the lot, the location of the proposed development will not be visible from any scenic road or located within primary views of neighboring properties. The site is visible from Paradise Cove Beach but is on the landside and will not affect scenic views of the Santa Monica Mountains or other coastal resources. Based on the existing development within the surrounding neighborhood, the proposed project is expected to blend with the surrounding built environment. Therefore, the portions of the structure exceeding 18 feet tall are not anticipated to adversely affect neighborhood character.

3. The existing size and shape of the subject property limits visibility of the proposed development from Zumirez Drive. No protected private or public views of scenic areas will be impacted in a way that is not compliant with the MMC and LCP.

4. The proposed project will comply with all applicable requirements of State and local law and is conditioned to comply with any relevant approvals, permits and licenses from the City of Malibu and other related agencies.

5. The proposed project is consistent with the LCP in that the property is located in an area that has been identified and zoned for residential use. The proposed project is consistent with the LCP in that it conforms to the residential land use designation and all applicable development standards.

6. The proposed development will not significantly obstruct visually impressive scenes from private property.

**C. Scenic, Visual and Hillside Resource Protection (LIP Chapter 6)**

1. The proposed project will not have adverse impacts on scenic or visual resources. The project has been determined not to require a view corridor due to its location along Zumirez Drive and although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.

2. The project as conditioned will not have significant adverse scenic or visual impacts. The project has been conditioned to include limitations on lighting and colors of the materials used to prevent any visual impacts to scenic areas.

3. The project is the least environmentally damaging feasible alternative.

4. The project, as designed and conditioned, is not expected to adversely affect scenic and visual resources and no feasible alternatives would avoid or substantially lessen any significant adverse impacts on scenic and visual resources.

5. The subject property is visible from Paradise Cove Beach; however, the proposed single-family residence will not significantly impact public views of the Pacific Ocean and is not anticipated to block views of the Santa Monica Mountains from the beach. Therefore, the proposed development, as designed, is sited to eliminate, minimize or otherwise contribute to conformance to sensitive resource policies.

#### **D. Hazards (LIP Chapter 9)**

1. The project will neither be subject to nor increase the instability of the site from geologic, flood, or fire hazards. The proposed development is suitable for the intended use provided that the certified engineering geologist and/or geotechnical engineer's recommendations and governing agency's building codes are followed.

2. The project, as designed, conditioned, and approved by the City geotechnical consultant reviewers and the City Public Works Department, does not have any significant adverse impacts on the site stability or structural integrity from geologic or fire hazards due to the project design.

3. The project, as conditioned, is the least environmentally damaging alternative.

4. The proposed development has been analyzed for the hazards listed in LIP Chapter 9 by the City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, and LACFD. These specialists and agencies determined that the proposed project does not impact site stability or structural integrity.

5. The proposed project, as designed and conditioned, will not have adverse impacts on sensitive resources.

#### **E. Demolition Permit Findings (MMC Section 17.70.060)**

DP No. 20-028 from the development standards contained in MMC Section 17.70.060 will allow for the existing single-family home to be demolished.

1. Conditions are included in this resolution pertaining to safe demolition and construction practices required for this project. Among these include using City authorized waste haulers, use of quality building materials and licensed professionals. Regular inspections from the Building Safety Division will take place throughout the demolition and construction of this project so that the City can ensure the conditions are being met.

2. The demolition and construction activities are dependent on the approval of this project. The final demolition and construction plans will be reviewed by City staff in the building plan check process. All City departments must approve the final plans before building permits can be issued.

#### SECTION 4. Planning Commission Action.

Based on the foregoing findings and evidence contained within the record, the Planning Commission hereby approves CDP No. 20-068, SPR No. 21-009, and DP No. 20-028, subject to the following conditions.

#### SECTION 5. Conditions of Approval.

1. The property owners, and their successors in interest, shall indemnify and defend the City of Malibu and its officers, employees and agents from and against all liability and costs relating to the City's actions concerning this project, including (without limitation) any award of litigation expenses in favor of any person or entity who seeks to challenge the validity of any of the City's actions or decisions in connection with this project. The City shall have the sole right to choose its counsel and property owners shall reimburse the City's expenses incurred in its defense of any lawsuit challenging the City's actions concerning this project.
2. Approval of this application is to allow for the project described herein. The scope of work approved includes:

##### Demolition

- a. DP No. 20-028 for the demolition of the existing single-family residence and detached garage;

##### Construction

- b. Construction of a new 6,284 square foot two-story single-family residence with a 986 square foot basement and 510 square foot attached two-car garage;
- c. 471 square foot detached second unit;
- d. 462 square foot detached two-car garage;
- e. Permeable driveway;
- f. 42-inch tall solid and up to 6-foot visually permeable front yard fence and vehicular gate;
- g. 6-foot solid side yard walls;
- h. Swimming pool (62.67 foot long by 18.67 foot wide) and spa (13.33 foot long by 10.67 foot wide) with associated pool equipment (to be fully screened) and decking;
- i. Second unit spa (7 feet long by 7 feet wide);
- j. New landscaping;
- k. 14,076 square feet of new impermeable surfaces;
- l. Open-air garden trellises
- m. Water features;
- n. Retaining walls (not to exceed six feet in height); and
- o. Onsite Wastewater Treatment System.

Discretionary Request

- p. SPR No. 21-009 for construction up to 24 feet in height to allow for a flat roof.
3. Except as specifically changed by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved scope of work, as described in Condition No. 2 and depicted on plans on file with the Planning Department date stamped **February 8, 2023**. The proposed development shall further comply with all conditions of approval stipulated in this resolution and Department Review Sheets attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
  4. Pursuant to LIP Section 13.18.2, this permit and rights conferred in this approval shall not be effective until the property owner signs, notarizes and returns the Acceptance of Conditions Affidavit accepting the conditions of approval set forth herein. The applicant shall file this form with the Planning Department prior to the issuance of any development permits.
  5. The applicant shall digitally submit a complete set of plans to the Planning Department for consistency review and approval prior to plan check and again prior to the issuance of any building or development permits.
  6. The CDP shall expire if the project has not commenced within three (3) years after issuance of the permit, unless a time extension has been granted. Extension of the permit may be granted by the approving authority for due cause. Extensions shall be requested in writing by the applicant or authorized agent prior to expiration of the three-year period and shall set forth the reasons for the request. In the event of an appeal, the CDP shall expire if the project has not commenced within three years from the date the appeal is decided by the decision-making body or withdrawn by the appellant.
  7. Any questions of intent or interpretation of any condition of approval will be resolved by the Planning Director upon written request of such interpretation.
  8. All development shall conform to requirements of the City of Malibu Environmental Sustainability Department, City Biologist, City Environmental Health Administrator, City geotechnical consultant reviewers, City Public Works Department, WD29 and LACFD, as applicable. Notwithstanding this review, all required permits shall be secured.
  9. Minor changes to the approved plans or the conditions of approval may be approved by the Planning Director, provided such changes achieve substantially the same results and the project is still in compliance with the Malibu Municipal Code and the Local Coastal Program. Revised plans reflecting the minor changes and additional fees shall be required.
  10. Pursuant to LIP Section 13.20, development pursuant to an approved CDP shall not commence until the CDP is effective. The CDP is not effective until all appeals, including those to the California Coastal Commission (CCC), have been exhausted. In the event that the CCC denies the permit or issues the permit on appeal, the coastal development permit approved by the City is void.

11. The property owner must submit payment for all outstanding fees payable to the City prior to issuance of any building permit, including grading or demolition.
12. The property owner shall comply with all provisions of the MMC and LIP.

### **Cultural Resources**

13. In the event that potentially important cultural resources are found in the course of geologic testing or during construction, work shall immediately cease until a qualified archaeologist can provide an evaluation of the nature and significance of the resources and until the Planning Director can review this information. Thereafter, the procedures contained in LIP Chapter 11 and those in MMC Section 17.54.040(D)(4)(b) shall be followed.
14. If human bone is discovered during geologic testing or during construction, work shall immediately cease and the procedures described in Section 7050.5 of the California Health and Safety Code shall be followed. Section 7050.5 requires notification of the coroner. If the coroner determines that the remains are those of a Native American, the applicant shall notify the Native American Heritage Commission by phone within 24 hours. Following notification of the Native American Heritage Commission, the procedures described in Section 5097.94 and Section 5097.98 of the California Public Resources Code shall be followed.

### **Lighting**

15. Exterior lighting must comply with the Dark Sky Ordinance and shall be minimized, shielded, or concealed and restricted to low intensity features, so that no light source is directly visible from public view. Permitted lighting shall conform to the following standards:
  - a. Lighting for walkways shall be limited to fixtures that do not exceed two feet in height and are directed downward, and limited to 850 lumens (equivalent to a 60-watt incandescent bulb);
  - b. Security lighting controlled by motion detectors may be attached to the residence provided it is directed downward and is limited to 850 lumens;
  - c. Driveway lighting shall be limited to the minimum lighting necessary for safe vehicular use. The lighting shall be limited to 850 lumens;
  - d. Lights at entrances as required by the Building Code shall be permitted provided that such lighting does not exceed 850 lumens;
  - e. Site perimeter lighting shall be prohibited; and
  - f. Outdoor decorative lighting for aesthetic purposes is prohibited.
16. Night lighting for sports courts or other private recreational facilities shall be prohibited.
17. No permanently installed lighting shall blink, flash, or be of unusually high intensity or brightness. Lighting levels on any nearby property from artificial light sources on the subject property(ies) shall not produce an illumination level greater than one foot candle.

18. Night lighting from exterior and interior sources shall be minimized. All exterior lighting shall be low intensity and shielded directed downward and inward so there is no offsite glare or lighting of natural habitat areas. High intensity lighting of the shore is prohibited.
19. String lights are allowed in occupied dining and entertainment areas only and must not exceed 3,000 Kelvin.
20. Motion sensor lights shall be programmed to extinguish ten minutes after activation.
21. Three violations of the conditions by the same property owner will result in a requirement to permanently remove the outdoor light fixture(s) from the site.
22. Up-lighting of landscaping is prohibited.

### **Fencing/Walls/Screening**

23. Any above-ground equipment shall be screened from view by a solid wall or fence on all four sides. The fence or walls shall comply with LIP Section 3.5.3(A).
24. The applicant shall include an elevation of the proposed electronic driveway gate on the architectural plans that are submitted for building plan check. The gate and all fencing along the front property line shall comply with the regulations set forth in LIP Section 3.5.
25. The height of fences and walls shall comply with LIP Section 3.5.3(A). No retaining wall shall exceed six feet in height or 12 feet in height for a combination of two or more walls.
26. New boundary fencing of any single area exceeding ½ acre shall be of an open rail-type design with a wooden rail at the top (instead of wire), be less than 40 inches high, and have a space greater than 14 inches between the ground and the bottom post or wire. A split rail design that blends with the natural environment is preferred.

### **Demolition/Solid Waste**

27. Prior to demolition activities, the applicant shall receive Planning Department approval for compliance with conditions of approval.
28. The applicant/property owner shall contract with a City approved hauler to facilitate the recycling of all recoverable/recyclable material. Recoverable material shall include but shall not be limited to: asphalt, dirt and earthen material, lumber, concrete, glass, metals, and drywall.
29. Prior to the issuance of a building/demolition permit, an Affidavit and Certification to implement waste reduction and recycling shall be signed by the Owner or Contractor and submitted to the Environmental Sustainability Department. The Affidavit shall indicate the agreement of the applicant to divert at least 65 percent (in accordance with CalGreen) of all construction waste from the landfill.
30. Upon plan check approval of demolition plans, the applicant shall secure a demolition permit from the City. The applicant shall comply with all conditions related to demolition imposed by the Building Official.

31. No demolition permit shall be issued until building permits are approved for issuance. Demolition of the existing structure and initiation of reconstruction must take place within a six-month period. Dust control measures must be in place if construction does not commence within 30 days.
32. The project developer shall utilize licensed subcontractors and ensure that all asbestos-containing materials and lead-based paints encountered during demolition activities are removed, transported, and disposed of in full compliance with all applicable federal, state and local regulations.
33. Any building or demolition permits issued for work commenced or completed without the benefit of required permits are subject to appropriate "Investigation Fees" as required in the Building Code.
34. Upon completion of demolition activities, the applicant shall request a final inspection by the Building Safety Division.

#### **Construction / Framing**

35. Prior to the commencement of work, the applicant shall submit a copy of their Construction Management Plan. The Construction Management Plan shall include a dedicated parking location for construction workers, not within the public right of way.
36. A construction staging plan shall be reviewed and approved by the Planning Director prior to plan check submittal.
37. Construction hours shall be limited to Monday through Friday from 7:00 a.m. to 7:00 p.m. and Saturdays from 8:00 a.m. to 5:00 p.m. No construction activities shall be permitted on Sundays or City-designated holidays.
38. Construction management techniques, including minimizing the amount of equipment used simultaneously and increasing the distance between emission sources, shall be employed as feasible and appropriate. All trucks leaving the construction site shall adhere to the California Vehicle Code. In addition, construction vehicles shall be covered when necessary; and their tires rinsed prior to leaving the property.
39. All new development, including construction, grading, and landscaping shall be designed to incorporate drainage and erosion control measures prepared by a licensed engineer that incorporate structural and non-structural Best Management Practices (BMPs) to control the volume, velocity and pollutant load of storm water runoff in compliance with all requirements contained in LIP Chapter 17, including:
  - a. Construction shall be phased to the extent feasible and practical to limit the amount of disturbed areas present at a given time.
  - b. Grading activities shall be planned during the southern California dry season (April through October).
  - c. During construction, contractors shall be required to utilize sandbags and berms to control runoff during on-site watering and periods of rain in order to minimize surface water contamination.

- d. Filter fences designed to intercept and detain sediment while decreasing the velocity of runoff shall be employed within the project site.
40. When framing is complete, a site survey shall be prepared by a licensed civil engineer or architect that states the highest roof member elevation, lowest finish floor elevation and elevation of centerline of Malibu Road. Prior to the commencement of further construction activities, said document shall be submitted to the assigned Building Inspector and Planning Department for review and sign off on framing.
41. For the transportation of heavy construction equipment and/or material, which requires the use of oversized-transport vehicles on State highways, the applicant / property owner is required to obtain a transportation permit from the California Department of Transportation.

### **Waste Management**

42. The applicant/property owner shall contract with a City approved hauler to facilitate the recycling of all recoverable/recyclable material. Recoverable material shall include but shall not be limited to: asphalt, dirt and earthen material, lumber, concrete, glass, metals and drywall.
43. An Affidavit and Certification to implement a Waste Reduction and Recycling Plan (WRRP) signed by the Owner or Contractor shall be submitted to the Environmental and Sustainability Department for review and approval. The WRRP shall indicate the agreement of the applicant to divert at least 50 percent of all construction waste generated by the project.

### **Biology/Landscaping**

44. Pursuant to LIP Section 4.6.1(A), new development shall be designed and constructed to avoid encroachments on slopes of 25 percent (4:1) grade or steeper, including fencing.
45. Except as permitted pursuant to the provisions in LUP policies 3.18 and 3.20, throughout the City of Malibu, development that involves the use of pesticides, including insecticides, herbicides, rodenticides or any other similar toxic chemical substances, shall be prohibited in cases where the application of such substances would have the potential to significantly degrade Environmentally Sensitive Habitat Areas or coastal water quality or harm wildlife. Herbicides may be used for the eradication of invasive plant species or habitat restoration, but only if the use of non-chemical methods for prevention and management such as physical, mechanical, cultural, and biological controls are infeasible. Herbicides shall be restricted to the least toxic product and method, and to the maximum extent feasible, shall be biodegradable, derived from natural sources, and used for a limited time.
46. Prior to installation of any landscaping, the applicant shall obtain plumbing permit for the proposed irrigation system from the Building Safety Division.
47. Prior to or at the time of a Planning final inspection, the property owner/applicant shall submit to the case planner a copy of the plumbing permit for the irrigation system installation that has been signed off by the Building Safety Division.

48. Prior to final plan check approval, provide landscape water use approval from WD29.
49. Invasive plant species, as determined by the City of Malibu, are prohibited.
50. All new and existing vegetation forming a view impermeable condition (hedge) serving the same function as a fence or wall, occurring within the side or rear yard setback shall be maintained at or below six feet in height. View impermeable hedges occurring within the front yard setback serving the same function as a fence or wall shall be maintained at or below 42 inches in height. Three violations of this condition will result in a requirement to permanently remove the vegetation from the site.
51. Vegetation shall be situated on the property so as not to significantly obstruct the primary view from private property at any given time (given consideration of its future growth).
52. No non-native plant species shall be approved greater than 50 feet from the residential structure.
53. Any site preparation activities, including removal of vegetation, between February 1 and September 15 will require nesting bird surveys by a qualified biologist at least 5 days prior to initiation of site preparation activities. Should active nests be identified, a buffer area no less than 150 feet (300 feet for raptors) shall be fenced off until it is determined by a qualified biologist that the nest is no longer active. A report discussing the results of nesting bird surveys shall be submitted to the City within two business days of completing the surveys.
54. The landscape plan shall prohibit the use of building materials treated with toxic compounds such as creosote or copper arsenate.
55. The use of wood chips and shredded rubber is prohibited anywhere on the site. Flammable mulch material, including shredded bark, pine needles, and artificial turf, are prohibited between zero and five feet of a structure. Non-continuous use of flammable mulch (excluding wood chips and shredded rubber) is allowed between 5 and 30 feet from the eave/overhang of a structure with limited application areas. Any mulch materials (excluding wood chips and shredded rubber) are allowed 30 feet or more from a structure with no limitation on application area.

#### **Fire Department/Fuel Modification**

56. The project shall receive LACFD approval of a Final Fuel Modification Plan prior to the issuance of final building permits.
57. The project is required to have an interior automatic sprinkler system.

#### **Public Works**

58. This project proposes to construct a new driveway within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant

shall obtain encroachment permits from the Public Works Department for the proposed driveway. The driveway shall be constructed of either 6-inches of concrete over 4-inches of aggregate base, or 4-inches of asphalt concrete over 6-inches of aggregate base. The driveway shall be flush with the existing grades with no curbs.

59. Several existing private improvements are located within the City's right-of-way, such as (but not limited to) landscaping, railroad ties, fencing. These improvements are required to be removed as part of this project and must be shown on the plans. The applicant shall place notes on the plans for the removal of existing encroachments within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant shall obtain encroachment permits from the Public Works Department for the removal of the private improvements within the City's right-of-way.
60. Clearing and grading during the rainy season (extending from November 1 to March 31) shall be prohibited for development that:
  - a. Is located within or adjacent to ESHA, or
  - b. Includes grading on slopes greater than 4 to 1.

Approved grading for development that is located within or adjacent to ESHA or on slopes greater than 4 to 1 shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 31, unless the City determines that completion of grading would be more protective of resources.

61. Exported soil from a site shall be taken to the Los Angeles County Landfill or to a site with an active grading permit and the ability to accept the material in compliance with LIP Section 8.3.
62. The ocean between Latigo Point and the West City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. This designation allows discharge of storm water only where it is essential for flood control or slope stability, including roof, landscape, road and parking lot drainage, to prevent soil erosion, only occurs during wet weather, and is composed of only storm water runoff. The applicant shall provide a drainage system that accomplishes the following:
  - a. Installation of BMPs that are designed to treat the potential pollutants in the storm water runoff so that it does not alter the natural ocean water quality. These pollutants include trash, oil and grease, metals, bacteria, nutrients, pesticides, herbicides and sediment.
  - b. Prohibits the discharge of trash.
  - c. Only discharges from existing storm drain outfalls are allowed. No new outfalls will be allowed. Any proposed or new storm water discharged shall be routed to existing storm drain outfalls and shall not result in any new contribution of waste to the ASBS (i.e., no additional pollutant loading).
  - d. Elimination of non-storm water discharges.

63. A Local Storm Water Pollution Prevention Plan (LSWPPP) shall be provided prior to issuance of grading/building permits. This plan shall include an Erosion and Sediment Control Plan (ESCP) that includes, but is not limited to:

Erosion Controls Scheduling	Erosion Controls Scheduling
	Preservation of Existing Vegetation
Sediment Controls	Silt Fence
	Sand Bag Barrier
	Stabilized Construction Entrance
Non-Storm Water Management	Water Conservation Practices
	Dewatering Operations
Waste Management	Material Delivery and Storage
	Stockpile Management
	Spill Prevention and Control
	Solid Waste Management
	Concrete Waste Management
	Sanitary/Septic Waste Management

64. All Best Management Practices (BMP) shall be in accordance to the latest version of the California Stormwater Quality Association (CASQA) BMP Handbook. Designated areas for the storage of construction materials, solid waste management, and portable toilets must not disrupt drainage patterns or subject the material to erosion by site runoff.
65. A Water Quality Mitigation Plan (WQMP) is required for this project. The WQMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The WQMP shall meet all the requirements of the City's current Municipal Separate Stormwater Sewer System (MS4) permit.
66. Hydromodification, which is alteration or disturbance of streams or natural drainage courses or human-made or altered drainage courses that have replaced natural streams or drainages and serve the same function, shall be prohibited.
- Necessary water supply projects where no feasible alternative exists.
  - Flood protection for existing development where there is no other feasible alternative.
  - The improvement of fish and wildlife habitat.
67. A State Construction activity permit is required for this project due to the disturbance of more than one acre of land for development. Provide a copy of the letter from the State Water Quality Control Board containing the WDID number prior to the issuance of grading or building permits.
68. The consulting engineer shall sign the final plans prior to the issuance of permits.
69. All final plans including but not limited to, the grading and drainage plan shall be reviewed and approved by the City Public Works Department.

## Geology

70. All recommendations of the consulting certified engineering geologist or geotechnical engineer and/or the City geotechnical staff shall be incorporated into all final design and construction including foundations, grading, sewage disposal, and drainage. Final plans shall be reviewed and approved by the City geotechnical consultant reviewers prior to the issuance of permits.
71. Final plans approved by the City geotechnical consultant reviewers shall be in substantial conformance with the approved CDP relative to construction, grading, sewage disposal and drainage. Any substantial changes may require a CDP amendment or a new CDP.

### **Swimming Pool / Spa / Mechanical Equipment**

72. Onsite noise, including that which emanates from swimming pool and air conditioning equipment, shall be limited as described in MMC Chapter 8.24 (Noise).
73. Pool and air conditioning equipment that will be installed shall be screened from view by a solid wall or fence on all four sides. The fence or walls shall comply with LIP Section 3.5.3(A).
74. All swimming pools shall contain double walled construction with drains and leak detection systems capable of sensing a leak of the inner wall.
75. The discharge of swimming pool, spa and decorative fountain water and filter backwash, including water containing bacteria, detergents, wastes, algacides, or other chemicals is prohibited. Swimming pool, spa, and decorative fountain water may be used as landscape irrigation only if the following items are met:
  - a. The discharge water is dechlorinated, debrominated or if the water is disinfected using ozonation;
  - b. There are sufficient BMPs in place to prevent soil erosion; and
  - c. The discharge does not reach into the MS4 or to the ASBS (including tributaries).
76. Discharges not meeting the above-mentioned methods must be trucked to a Publicly Owned Wastewater Treatment Works.
77. A sign stating “It is illegal to discharge pool, spa, or water feature waters to a street, drainage course, or storm drain per MMC Section 13.04.060(D)(5)” shall be posted in the filtration and/or pumping equipment area for the property. Prior to the issuance of any permits, the applicant shall indicate the method of disinfection and the method of discharging.

### **Environmental Health**

78. Prior to the issuance of a building permit the applicant shall demonstrate, to the satisfaction of the Building Official, compliance with the City of Malibu’s Onsite Wastewater Treatment regulations including provisions of LIP Section 18.9 related to continued operation, maintenance and monitoring of onsite facilities.

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79. Prior to final Environmental Health approval, a final OWTS plot plan shall be submitted showing an AOWTS design meeting the minimum requirements of the Malibu Plumbing Code (MPC) and the LCP, including necessary construction details, the proposed drainage plan for the developed property and the proposed landscape plan for the developed property. The AOWTS plot plan shall show essential features of the AOWTS and must fit onto an 11-inch by 17-inch sheet leaving a five-inch margin clear to provide space for a City applied legend. If the scale of the plans is such that more space is needed to clearly show construction details and/or all necessary setbacks, larger sheets may also be provided (up to a maximum size of 18 inches by 22 inches).
80. A final design and system specifications shall be submitted as to all components (i.e., alarm system, pumps, timers, flow equalization devices, backflow devices, etc.) proposed for use in the construction of the proposed OWTS. For all OWTS, final design drawings and calculations must be signed by a California registered civil engineer, a registered environmental health specialist or a professional geologist who is responsible for the design. The designer must also be a registered OWTS designer with the City of Malibu. The final OWTS design report and drawings shall be submitted to the City Environmental Health Administrator with the designer's wet signature, professional registration number and stamp (if applicable).
81. The final OWTS design report shall contain the following information (in addition to the items listed above).
- Required treatment capacity for wastewater treatment and disinfection systems. The treatment capacity shall be specified in terms of flow rate, gallons per day, and shall be supported by calculations relating the treatment capacity to the number of bedroom equivalents, plumbing fixture equivalents, and/or the subsurface effluent dispersal system acceptance rate. The fixture unit count must be clearly identified in association with the design treatment capacity, even if the design is based on the number of bedrooms. Average and peak rates of hydraulic loading to the treatment system shall be specified in the final design;
  - Sewage and effluent pump design calculations (as applicable).
  - Description of proposed wastewater treatment and/or disinfection system equipment. State the proposed type of treatment system(s) (e.g., aerobic treatment, textile filter ultraviolet disinfection, etc.); major components, manufacturers, and model numbers for "package" systems; and conceptual design for custom engineered systems;
  - Specifications, supporting geology information, and percolation test results for the subsurface effluent dispersal portion of the onsite wastewater disposal system. This must include the proposed type of effluent dispersal system (drainfield, trench, seepage pit subsurface drip, etc.) as well as the system's geometric dimensions and basic construction features. Provide seepage pit cap depth relative to original and finished grades. Supporting calculations shall be presented that relate the results of soils analysis or percolation/infiltration tests to the projected subsurface effluent acceptance rate, including any unit conversions or safety factors. Average and peak rates of hydraulic loading to the effluent dispersal system shall be specified in the final design. The projected subsurface effluent acceptance rate shall be reported in units of total gallons per day and gallons per square foot per day. Specifications for the subsurface effluent dispersal system shall be shown to accommodate the design hydraulic loading rate (i.e., average and peak OWTS effluent flow, reported in units

- of gallons per day). The subsurface effluent dispersal system design must take into account the number of bedrooms, fixture units and building occupancy characteristics; and
- e. All final design drawings shall be submitted with the wet signature and typed name of the OWTS designer. If the scale of the plan is such that more space is needed to clearly show construction details, larger sheets may also be provided (up to a maximum size of 18 inch by 22 inch, for review by Environmental Health). Note: For OWTS final designs, full-size plans are required for review by the Building Safety Division and/or the Planning Department.
82. Final plans shall clearly show the locations of all existing OWTS components (serving pre-existing development) to be abandoned and provide procedures for the OWTS' proper abandonment in conformance with the Malibu Municipal Code.
83. All project traffic rated slab plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.
84. Proof of ownership of subject property shall be submitted to the City Environmental Health Administrator.
85. An operations and maintenance manual specified by the OWTS designer shall be submitted to the City Environmental Health Administrator. This shall be the same operations and maintenance manual submitted to the owner and/or operator of the proposed OWTS following installation.
86. Prior to final Environmental Health approval, a maintenance contract executed between the owner of the subject property and an entity qualified in the opinion of the City of Malibu to maintain the proposed OWTS after construction shall be submitted. Only original wet signature documents are acceptable and shall be submitted to the City Environmental Health Administrator.
87. Prior to final Environmental Health approval, a covenant which runs with the land shall be executed between the City of Malibu and the holder of the fee simple absolute as to subject real property and recorded with the Los Angeles County Recorder's Office. Said covenant shall serve as constructive notice to any future purchaser for value that the AOWTS serving subject property is an alternative method of onsite wastewater disposal pursuant to the City of Malibu Plumbing Code, Appendix K, Section 1(i). Said covenant shall be provided by the City of Malibu Environmental Health Administrator and shall be submitted to the City of Malibu with proof of recordation by the Los Angeles County Recorder.
88. Final approval by the City geotechnical consultant reviewers, City Public Works Department and City Planning Department shall be submitted to the City Environmental Health Administrator.
89. A final fee in accordance with the adopted fee schedule at the time of the final approval shall be paid to the City of Malibu for Environmental Health review of the OWTS design and system specification.

90. In accordance with MMC Chapter 15.14, an application shall be made to the Environmental and Building Safety Division for an OWTS operating permit. An operating permit fee shall be submitted with the application and a final fee shall be paid for Environmental Health review of the OWTS design and system specifications.

### **Water Service**

91. Prior to the issuance of a building permit, the applicant shall submit an updated Will Serve Letter from Los Angeles County Waterworks District No. 29 to the Planning Department indicating the ability of the property to receive adequate water service.

### **Prior to Occupancy**

92. Prior to a final Building inspection, the applicant shall provide a Recycling Summary Report (Summary Report) and obtain the approval from the Environmental Sustainability Department. Applicant must provide haul tickets and diversion information. The final Summary Report shall designate the specific materials that were land filled or recycled, and state the facilities where all materials were taken.
93. The applicant shall request a final Planning Department inspection prior to final inspection by the City of Malibu Building Safety Division. A Certificate of Occupancy shall not be issued until the Planning Department has determined that the project complies with this coastal development permit. A temporary Certificate of Occupancy may be granted at the discretion of the Planning Director, provided adequate security has been deposited with the City to ensure compliance should the final work not be completed in accordance with this permit.
94. Prior to final Planning inspection or other final project sign off (as applicable), the applicant shall submit to the Planning Director for review and approval a certificate of completion in accordance with the Landscape Water Conservation Ordinance (MMC Chapter 9.22). The certificate shall include the property owner's signed acceptance of responsibility for maintaining the landscaping and irrigation in accordance with the approved plans and MMC Chapter 9.22.
95. Prior to issuance of a Certificate of Occupancy, the City Biologist shall inspect the project site and determine that all Planning Department conditions to protect natural resources are in compliance with the approved plans.
96. Any construction trailer, storage equipment or similar temporary equipment not permitted as part of the approved scope of work shall be removed prior to final inspection and approval, and if applicable, the issuance of the certificate of occupancy.

### **Site Specific Conditions**

97. No furniture or other attachment, whether temporary or fixed, other than the approved trellis may be placed on the deck nearest the ocean taller than 18 feet in height as measured from adjacent grade.

### **Fixed Conditions**

98. This coastal development permit shall run with the land and bind all future owners of the property.
99. Violation of any of the conditions of this approval may be cause for revocation of this permit and termination of all rights granted there under.

### **Deed Restrictions**

100. The property owner is required to execute and record a deed restriction which shall indemnify and hold harmless the City, its officers, agents, and employees against any and all claims, demands, damages, costs and expenses of liability arising out of the acquisition, design, construction, operation, maintenance, existence or failure of the permitted project in an area where an extraordinary potential for damage or destruction from wildfire exists as an inherent risk to life and property. The property owner shall provide a copy of the recorded document to Planning Department staff prior to final Planning Department approval.
101. Prior to final Planning Department approval, the applicant shall be required to execute and record a deed restriction reflecting lighting requirements set forth in Condition Nos. 15-22. The property owner shall provide a copy of the recorded document to the Planning Department prior to final Planning Department approval.

SECTION 6. The Planning Commission shall certify the adoption of this resolution.

PASSED, APPROVED AND ADOPTED this 6<sup>th</sup> day of March, 2023.

\_\_\_\_\_  
DENNIS R. SMITH, Planning Commission Chair

ATTEST:

\_\_\_\_\_  
REBECCA EVANS, Recording Secretary

LOCAL APPEAL - Pursuant to Local Coastal Program Local Implementation Plan (LIP) Section 13.20.1 (Local Appeals) a decision made by the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be filed with the City Clerk within 10 days and shall be accompanied by an appeal form and filing fee, as specified by the City Council. Appeal forms may be found online at [www.malibucity.org](http://www.malibucity.org), in person at City Hall, or by calling (310) 456-2489, ext. 245.

COASTAL COMMISSION APPEAL – An aggrieved person may appeal the Planning Commission’s approval to the Coastal Commission within 10 working days of the issuance of the

City's Notice of Final Action. Appeal forms may be found online at [www.coastal.ca.gov](http://www.coastal.ca.gov) or by calling (805) 585-1800. Such an appeal must be filed with the Coastal Commission, not the City.

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 1.12.010 of the MMC and Code of Civil Procedure. Any person wishing to challenge the above action in Superior Court may be limited to raising only those issues they or someone else raised at the public hearing, or in written correspondence delivered to the City of Malibu at or prior to the public hearing.

I CERTIFY THAT THE FOREGOING RESOLUTION NO. 23-11 was passed and adopted by the Planning Commission of the City of Malibu at the regular meeting held on the 6<sup>th</sup> day of March 2023 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

\_\_\_\_\_  
REBECCA EVANS, Recording Secretary

# Zumirez

6734 Zumirez Drive, Malibu, CA 90265

May 28, 2021

## ABBREVIATIONS

ADDITIONAL ADJUSTABLE ABOVE FINISHED FLOOR ABOVE FINISHED FLOOR AIR CONDITIONING ALTERNATE ARCHITECT (URAL) AREA DRAIN	ADD'L A.D.J. A.F.F. A.C. A.C.T. A.R.C.H. A.D.	JOINT MANUFACTURE MANUFACTURER'S MATERIAL MAXIMUM MECHANICAL METAL MINIMUM MISCELLANEOUS	JT. MFR. MATL. MAX. MECH. MTL. MIN. MISC.
BLOCKING BOARD BUILDING	BLKG. BD. BLDG.	NORTH NOT IN CONTRACT NOT TO SCALE NUMBER	N N.I.C. N.T.S. NO. OR X
CABINET CEILING CENTER LINE CERAMIC TILE CLEAR CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS CONTROL JOINT	CAB. CLG. CTR. C.L. C.T. CLR. CONC. C.M.U. CONST. CONT. C.J.	ON CENTER OUTSIDE DIAMETER OPENING PAIR PERFORATED(ED) PIECE/PIECES PLANTER AREA P.A.	O.D. OPG. PR. PERF. PC, PCS. P.A.
DIAMETER DIMENSION DOUBLE DOUBLE HUNG DOWN DRAWING	D.I.A. DIM. DUB. D.H. DWN. DWG.	QUANTITY RADIUS REFERENCE REFRIGERATOR REINFORCE/REINFORCING REQUIRED RETURN AIR ROUGH OPENING	QTY. RAD. REF. REF.RG. REINF. REQ. R.A. R.O.
ELECTRIC ELECTRIC PANEL ELEVATOR ENCLOSURE ENGINEER EQUIPMENT EXISTING EXTRUDE OR EXTRUSION	ELECT. ELECT. PNL. ELEV. ENCL. ENGR. EQUP. EXIST. EXTR.	SHEET SIMILAR SOUTH SMOKE DETECTOR SPEAKER SPECIFICATIONS SPRINKLER HEAD SQUARE STAINLESS STEEL STANDARD STEEL STRUCT. TEL. TELEVISION TEMPORARY TONGUE AND GROOVE TYPICAL	SHT. SIM. S. S.D. SPKR. SPEC. S.H. S.S. STD. STL. STRUCT. TEL. TV. TEMP. T & G. TYP.
FABRICATED(ED) FINISH FIXTURE FLOOR FLUORESCENT FOOT FRESH AIR INTAKE (OR INLET) FURNISHED FURNISHING FURNISHING	FAB. FIN. FKT. FL. FLUOR. FOOT F.A.I. FURN. FURN. FURN.	UNLESS OTHERWISE NOTED VERTICAL VINYL COMPOSITION TILE W/. WITH WITHOUT WOOD	U.O.N. VERT. V.C.T. W. W/O. W/O.
INSIDE DIAMETER	I.D.		

## SYMBOL LEGEND

	NORTH ARROW		GRID LINE SYMBOL
	BUILDING ELEVATION / SECTION		GRAVEL
	ELEVATION DATUM		STONE
	TYP. DOOR SCHEDULE SYMBOL		CONCRETE
	TYP. WINDOW SCHEDULE SYMBOL		
	INTERIOR ELEVATION FLAG		
	DETAIL CALL OUT		

## VICINITY MAP



## DEFERRED SUBMITTAL

Deferred submittal documents shall be submitted to the architect or engineer of record, who shall review them and forward them to the building official with a notation that they have been reviewed and have been found to be in general conformance with the design of the building or structure. The deferred items shall not be installed until their design and submittal documents have been reviewed and approved by the building official.

## APPLICABLE CODES

ZONING	2002 LOCAL IMPLEMENTATION PLAN WITH AMENDMENTS
BUILDING CODE	LA COUNTY BUILDING CODE, 2017 EDITION
ELECTRICAL CODE	LA COUNTY ELECTRICAL CODE, 2017 EDITION
PLUMBING CODE	LA COUNTY PLUMBING CODE, 2017 EDITION
MECHANICAL CODE	LA COUNTY MECHANICAL CODE, 2017 EDITION
ADDITIONAL CODE	LA COUNTY RESIDENTIAL CODE, 2017 EDITION
ADDITIONAL	LA COUNTY ENERGY CODE, 2017 EDITION
PLANNING PERMIT TYPE	CDP WITH SPR FOR FLAT ROOF COVER 18' UP TO 24' MAX
DISCRETIONARY REQUESTS	SITE PLAN REVIEW FOR HEIGHT UP TO 24' (FLAT ROOF)
EXTERIOR LIGHTING CODE	WILL CONFORM WITH THE CITY OF MALIBU DARK SKY ORDINANCE

## PROJECT TEAM

OWNER	IBN Properties LLC 6115 Douglas Fr Road, Suite F, Calabasas CA 91302 US
APPLICANT	Schmitz & Associates 28118 Agoura Rd, Suite 103 Agoura Hills, CA 91301
ARCHITECT	Warren Garrett 311 North Robertson Blvd, Suite 920, Los Angeles, CA 90211 315 Place of Youville, Suite 268, Montreal, Canada
LAND SURVEYOR	Land & Air Surveying 22741 Pacific Coast Highway, Suite 400A, Malibu, CA 90265
CIVIL ENGINEER	Anali Engineering 360 Miller Way, Arroyo Grande, CA 93429
GEOLOGIST	Solid Soils & Geologic Consultants, Inc. 106 San Marino Avenue, Ventura, CA 93003
GEOTECHNICAL ENGINEER	N / A
STRUCTURAL ENGINEER	N / A
OWTS ENGINEER	N / A
LANDSCAPE ARCHITECT	Givini & Associates 444 Magnolia Ave STE 200, Larkspur, CA 94939, United States

## LEGAL

PROJECT ADDRESS	6734 Zumirez Drive, Malibu, CA 90265
A.P.N.	4466-002-001
LCP ZONING	RR-1
OCCUPANCY GROUP	R-3 / U
TYPE OF CONSTRUCTION	VB
NUMBER OF STORES	2 Plus Basement
FIRE ZONE	VHFHSZ (Zone 4)
SPRINKLERED	Yes Per LACO Fire Code

## PROJECT DESCRIPTION

RECONSTRUCTION OF SINGLE FAMILY RESIDENCE

- DEMOLITION OF EXISTING 1,891 SQ FT HOUSE AND GARAGE
- PROPOSED NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED AND DETACHED GARAGE
- NEW GUEST HOUSE
- NEW DRIVEWAY AND WALKWAYS WITH ASSOCIATED GRADING, LANDSCAPE AND RETAINING WALLS
- NEW SWIMMING POOL/JACUZZI AND DECKS
- NEW OUTDOOR GARDENS OPEN TO THE SKY WITH LANDSCAPE
- NEW AOWTS

## DEVELOPMENT ANALYSIS

LOT AREA: GROSS		LOT AREA: NET	
58093 SQ FT		58093 SQ FT	
SETBACK ANALYSIS			
LOT DEPTH: 692'		LOT WIDTH: 98'-4"	
SETBACK	MINIMUM	EXISTING	PROPOSED
FRONT YARD	65'	275'	142'-6"
10% SIDE YARD	9'-10"	21'-4"	10'
15% SIDE YARD	14'-9"	15'-4"	15'-1"
REAR YARD	88'-10"	215'-8"	139'-6"
TOTAL DEVELOPMENT SQUARE FOOTAGE ANALYSIS			
TOTAL ALLOWABLE: 7780 SQ FT			
EXISTING: 1991 SQ FT		PROPOSED: 7727 SQ FT	
T.D.S.F. CALCULATION MATH			
$(21780 \times 0.177) + (21780 \times 0.1) + (14533 \times 0.05) + 1000 = 7780 \text{ SQ FT}$			
PROPOSED AREA TABULATION			
MAIN RESIDENCE TDSF: 6284 SQ FT			
(LOWER FLOOR: 1074 SQ FT			
GROUND FLOOR: 3638 SQ FT			
UPPER FLOOR: 1572 SQ FT)			
MAIN RESIDENCE GARAGE: 510 SQ FT			
GUEST HOUSE: 471 SQ FT			
GUEST HOUSE GARAGE: 482 SQ FT			
PROPOSED T.D.S.F.: 7727 SQ FT			
BASEMENT (EXCLUDED FROM T.D.S.F. CALCULATION): 986 SQ FT			
BUILDING HEIGHT			
EXISTING: 17'-0"		PROPOSED: 23'-11"	
AREA 2/3RDS RULE ANALYSIS			
FIRST FLOOR AREA (LOWER FLOOR, GROUND FLOOR AND ATTACHED GARAGE): 5222 SQ FT			
2/3RD CALCULATION: 5222 x 2/3 = 3481 SQ FT			
PROPOSED SECOND FLOOR AREA (UPPER FLOOR) = 1572 SQ FT + 3481 SQ FT			
IMPERMEABLE SURFACE ANALYSIS			
$58093 \times 0.3 = 17428 \text{ SQ FT ALLOWABLE}$			
EXISTING FOOTPRINT: 1991 SQ FT		PROPOSED FOOTPRINT: 5113 SQ FT	
EXISTING HARDSCAPE: 1965 SQ FT		PROPOSED HARDSCAPE: 8963 SQ FT	
PROPOSED IMPERMEABLE COVERAGE			
BUILDING FOOTPRINT (MAIN HOUSE, GUEST HOUSE, ATTACHED AND DETACHED GARAGE): 5113 SQ FT			
DECKS AND WALKWAYS (STONE PAVERS AND CONCRETE): 7161 SQ FT			
RETAINING AND LANDSCAPING WALLS AND OUTDOOR STRUCTURES: 1802 SQ FT			
TOTAL PROPOSED IMPERMEABLE COVERAGE: 14076 SQ FT + 17428 SQ FT			
PROPOSED PERMEABLE COVERAGE			
POOL / JACUZZI / WATER FEATURES: 2078 SQ FT			
WALKWAYS AND DRIVEWAYS (GRAVEL): 12651 SQ FT			
WALKWAYS AND DRIVEWAYS (STONE PAVERS): 644 SQ FT			
PLANTING: 17027 SQ FT			
TOTAL PROPOSED PERMEABLE COVERAGE: 32410 SQ FT			

## 3D VISUAL - WEST ELEVATION



## PARKING

EXISTING: 2 ENCLOSED, 2 OFF STREET PROPOSED: 4 ENCLOSED, 2 UNENCLOSED

## LANDSCAPE

A LANDSCAPE PLAN IS PROPOSED WITH THIS PROJECT

## GRADING PLAN

SEE GRADING PLAN COVER SHEET FOR CUBIC YARD CALCULATION AND ADDITIONAL DETAILS

## SHEET INDEX

GENERAL	CIVIL
T-1.1 COVER SHEET	G1 OF 4 PROJECT INFORMATION, EXISTING
T-1.2 ARCHITECTURAL SURVEY	G2 OF 4 AND PROPOSED SITE PLAN
T-1.3 COLOR CODED SLOPE PLAN	G3 OF 4 COASTAL DEVELOPMENT PERMIT
F1 OF 1 FIRE DEPARTMENT ACCESS PLAN	G3 OF 4 COASTAL DEVELOPMENT PERMIT
ARCHITECTURAL	G4 OF 4 GRADING AND DRAINAGE PLAN
A-0.1 PROPOSED SITE PLAN	G4 OF 4 EROSION CONTROL PLAN AND LOCAL SWPPP
A-0.2 SITE PLAN EXHIBIT	LANDSCAPING
A-0.3 IMPERMEABLE / PERMEABLE COVERAGE	L1.1 LAYOUT & MATERIAL PLAN
A-0.4 COLOR CODED SLOPE ANALYSIS OVERLAY WITH SITE PLAN	L1.2 LAYOUT & MATERIAL PLAN
A-1.1 MAIN RESIDENCE - PROPOSED LOWER FLOOR AND BASEMENT PLAN	L2.1 EXISTING TREE & SHRUB
A-1.2 MAIN RESIDENCE - PROPOSED GROUND FLOOR PLAN	L2.2 EXISTING TREE & SHRUB
A-1.3 MAIN RESIDENCE - PROPOSED UPPER FLOOR PLAN	L2.3 EXISTING TREE & SHRUB
A-1.4 MAIN RESIDENCE - PROPOSED ROOF PLAN	L3.0 PLANTING LEGEND AND NOTES
A-1.5 GUEST HOUSE - PROPOSED GROUND FLOOR PLAN	L3.1 TREE PLANTING PLAN
A-1.6 GUEST HOUSE - PROPOSED ROOF PLAN	L3.2 TREE PLANTING PLAN
A-2.1 MAIN RESIDENCE - PROPOSED ELEVATIONS 1, 2 & 3	L3.3 SHRUB PLANTING PLAN
A-2.2 MAIN RESIDENCE - PROPOSED ELEVATIONS 4 & 5	L4.1 SHRUB PLANTING PLAN
A-2.3 GUEST HOUSE - PROPOSED ELEVATIONS 6, 7, 8, 9 & 10 AND FRONT GATE	L4.2 SHRUB PLANTING PLAN
A-3.1 MAIN RESIDENCE - PROPOSED SECTIONS A-A & B-B	L5.0 FUEL MODIFICATION PLAN NOTES
A-3.2 MAIN RESIDENCE - PROPOSED SECTIONS C-C & D-D	L5.1 FUEL MODIFICATION PLAN
A-3.3 GUEST HOUSE - PROPOSED SECTIONS E-E & F-F	L5.2 FUEL MODIFICATION PLAN
A-4.1 TDSF & 2/3RDS EXHIBIT PAGE 1	L5.3 FUEL MODIFICATION PLAN
A-4.2 TDSF & 2/3RDS EXHIBIT PAGE 2	L6.1 IRRIGATION PLAN
A-4.3 TWO STORY & BASEMENT EXHIBIT	L6.2 IRRIGATION PLAN
	L6.3 IRRIGATION PLAN
	L6.4 IRRIGATION LEGEND
	L6.5 IRRIGATION LEGEND
	L6.6 IRRIGATION NOTES
	L6.7 IRRIGATION DETAILS
	L6.8 IRRIGATION DETAILS
	L6.9 IRRIGATION DETAILS
	L6.10 IRRIGATION DETAILS
	L6.11 IRRIGATION DETAILS
	L6.12 IRRIGATION DETAILS
	L6.13 IRRIGATION DETAILS
	L6.14 IRRIGATION SPECIFICATIONS
	L6.15 IRRIGATION SPECIFICATIONS
	L7.1 LANDSCAPE PLANTING
	L7.2 LANDSCAPE PLANTING
	L7.3 LANDSCAPE PLANTING
	L7.4 LANDSCAPE PLANTING



THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARREN GARRETT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN AGREEMENT.

WRITTEN DIMENSIONS SHALL BE VIEWED ON THE JOB SITE. DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF WARREN GARRETT PRIOR TO THE COMMENCEMENT OF ANY WORK.

## PROJECT

# Zumirez

## PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

## PROJECT OWNER

IBN Properties LLC  
5115 Douglas Fr Road, Suite F  
Calabasas CA 91302 US

## PROJECT NOTES

## REVISION SCHEDULE

NO.	DATE	ISSUE
2020/12/21	CDP INITIAL SUBMITTAL	
2021/06/25	PLANNING RE-SUBMIT	
2021/08/15	PLANNING RE-SUBMIT	
2022/05/26	PLANNING RE-SUBMIT	
2022/06/20	PLANNING RE-SUBMIT	

## DRAWING DESCRIPTION

## COVER SHEET

## DRAWING NO.

# T-1.1

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	AS NOTED
DRAWN BY	MP, MS

# PROPERTY ADDRESS:

6734 ZUMREZ DRIVE  
MALIBU, CA 90265

# ASSESSOR'S PARCEL NO.'S:

4466-002-001 LOS ANGELES COUNTY)

# LEGAL DESCRIPTION:

LOT 27 OF TRACT NO. 12778, IN THE CITY OF MALIBU, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 262, PAGES 41-45, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

# ASIS OF BEARINGS:

THE BEARING OF N 54° 46' 56" W ALONG THE CENTER LINE OF ZUMREZ DRIVE AS SHOWN ON TRACT MAP 12778 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 262, PAGES 41-45, IN THE OFFICE OF THE RECORDER OF SAID COUNTY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

# BENCH MARK:

MALIBU 132.549' CS MON IN WELL DN 10' IN 42 FT S/O C/L PACIFIC COAST DY-5433 (1990)  
HWY & 315 FT W/O ZUMREZ DR 5 FT E/O WEST PROP LINE OF LA CO FIRE STA #71 MKD (SOLSTICE CYN A-10A 1950)

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NAVD 1988 DATUM.

# NOTES:

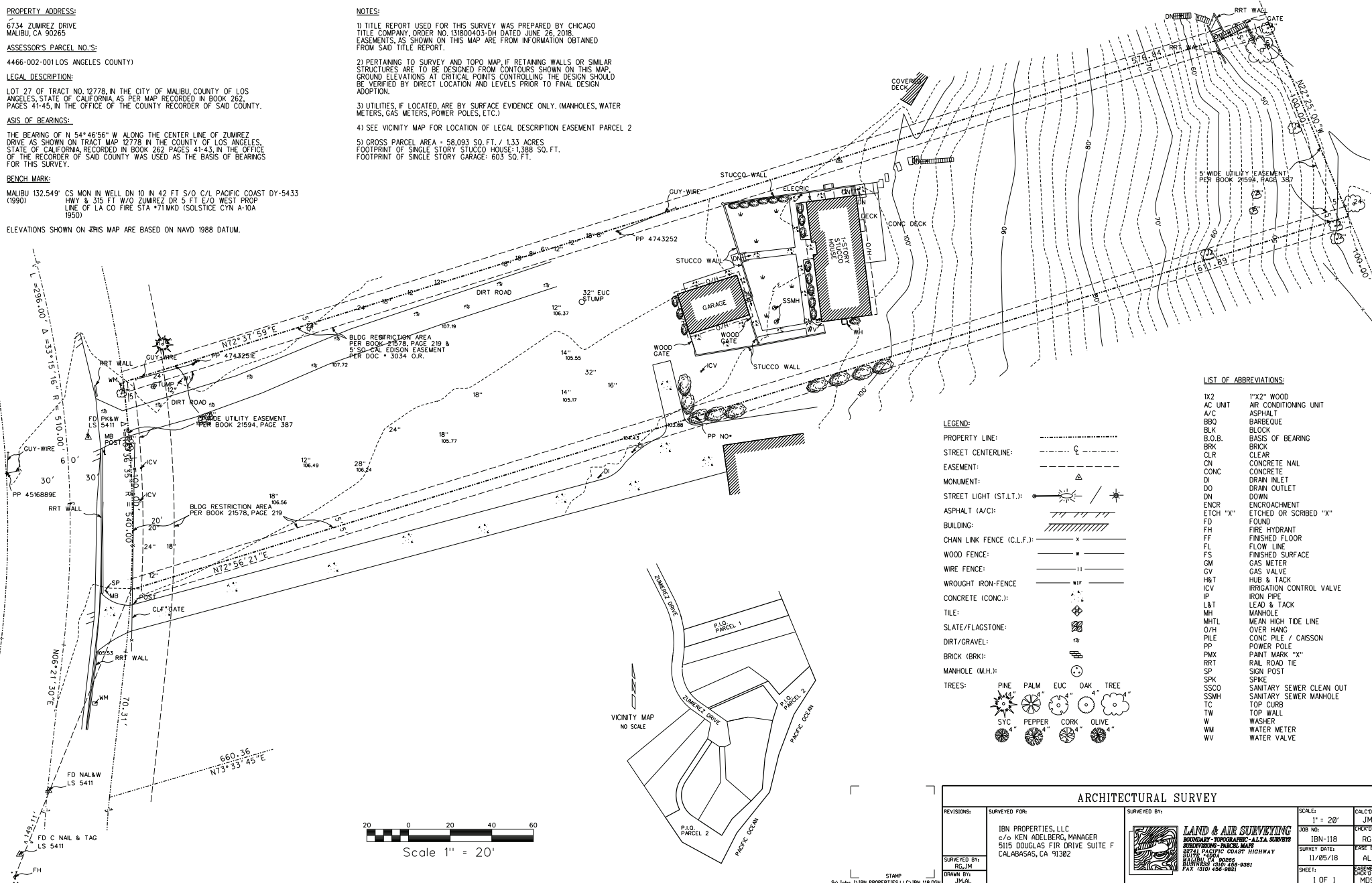
1) TITLE REPORT USED FOR THIS SURVEY WAS PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 131800403-DH DATED JUNE 26, 2018. EASEMENTS, AS SHOWN ON THIS MAP ARE FROM INFORMATION OBTAINED FROM SAID TITLE REPORT.

2) PERTAINING TO SURVEY AND TOPO MAP, IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM CONTOURS SHOWN ON THIS MAP, GROUND ELEVATIONS AT CRITICAL POINTS CONTROLLING THE DESIGN SHOULD BE VERIFIED BY DIRECT LOCATION AND LEVELS PRIOR TO FINAL DESIGN ADOPTION.

3) UTILITIES, IF LOCATED, ARE BY SURFACE EVIDENCE ONLY. (MANHOLES, WATER METERS, GAS METERS, POWER POLES, ETC.)

4) SEE VICINITY MAP FOR LOCATION OF LEGAL DESCRIPTION EASEMENT PARCEL 2

5) GROSS PARCEL AREA = 58,093 SQ. FT. / 1.33 ACRES  
FOOTPRINT OF SINGLE STORY STUCCO HOUSE: 1,388 SQ. FT.  
FOOTPRINT OF SINGLE STORY GARAGE: 603 SQ. FT.



6734 ZUMIREZ DRIVE  
MALIBU, CA 90265

ASSESSOR'S PARCEL NO.'S:

4466-002-001 LOS ANGELES COUNTY)

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(1990)  
HWY & 315 FT W/O ZUMREZ DR 5 FT E/O WEST PROP  
LINE OF LA CO FIRE STA \*71 MKD (SOLSTICE CYN A-10A  
1950)

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NAVD 1988 DATUM.

NOTES:

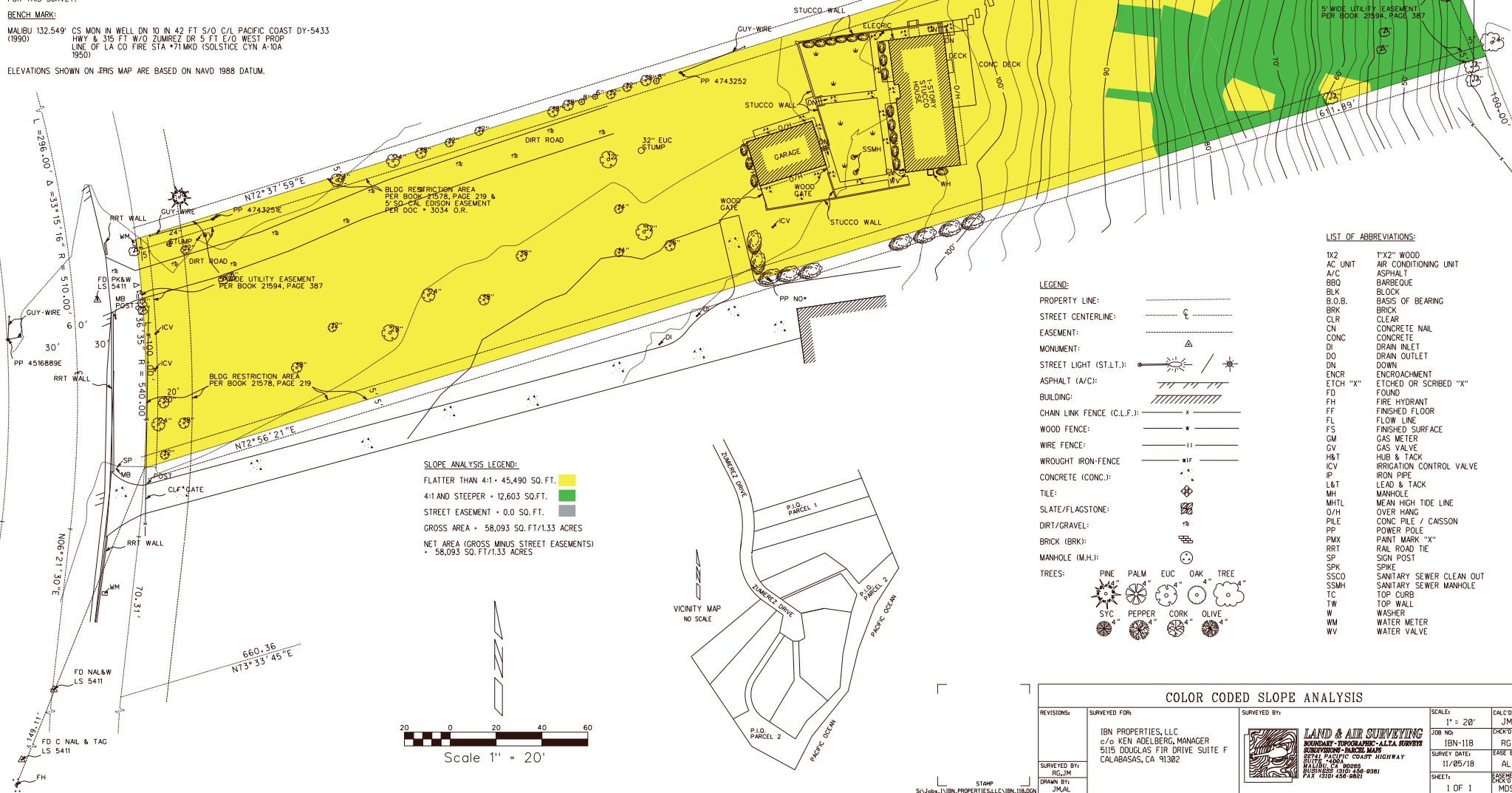
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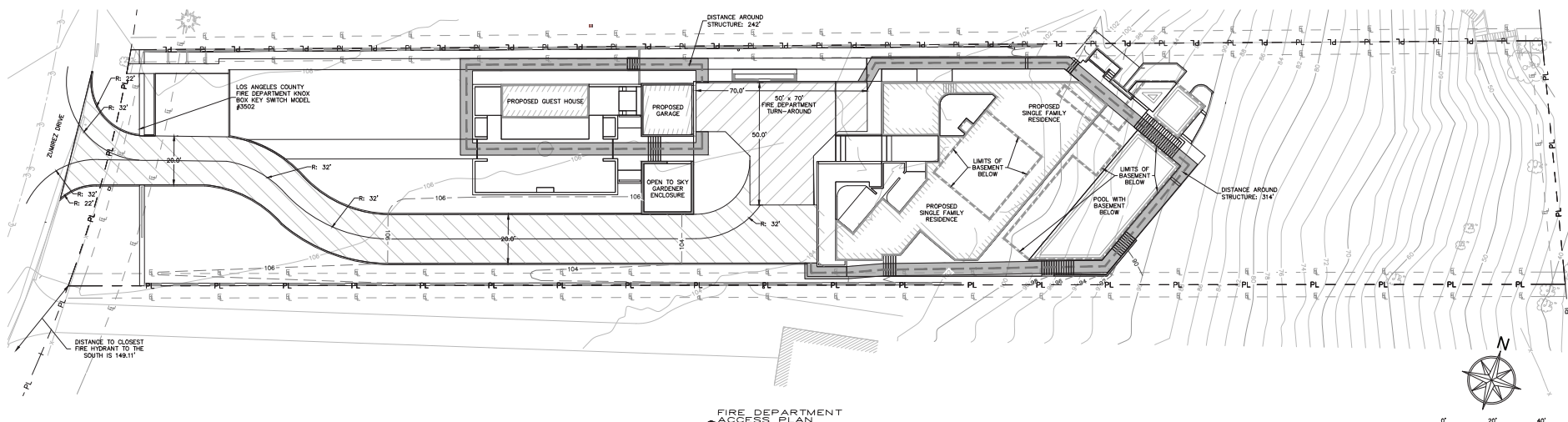
2) PERTAINING TO SURVEY AND TOPO MAP, IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM CONTOURS SHOWN ON THIS MAP, GROUND ELEVATIONS AT CRITICAL POINTS CONTROLLING THE DESIGN SHOULD BE VERIFIED BY DIRECT LOCATION AND LEVELS PRIOR TO FINAL DESIGN ADOPTION.

3) UTILITIES, IF LOCATED, ARE BY SURFACE EVIDENCE ONLY. (MANHOLES, WATER METERS, GAS METERS, POWER POLES, ETC.)

4) SEE VICINITY MAP FOR LOCATION OF LEGAL DESCRIPTION EASEMENT PARCEL 2

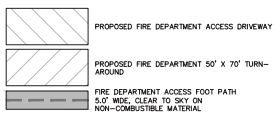
5) GROSS PARCEL AREA = 58,093 SQ. FT. / 1.33 ACRES  
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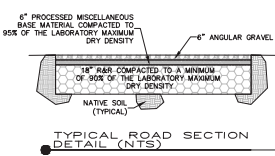


FIRE DEPARTMENT ACCESS PLAN

LINE/TYPE	DESCRIPTION
---	PL - PROPERTY LINE
---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS
---	PROPOSED MINOR CONTOURS
---	LIMITS OF DISTURBED SITE AREA
---	ROAD CENTERLINE



GENERAL NOTES:  
\*ALL WEATHER ACCESS DRIVEWAY IS NOT REQUIRED BECAUSE THE SLOPE OF THE ROAD IS LESS THAN 10%.



- FIRE DEPARTMENT ACCESS PLAN GENERAL NOTES:**
- WHEN ELECTRIC SECURITY GATES ARE PROPOSED, MAINTAIN A MINIMUM ACCESS WIDTH OF 20 FEET. THE SECURITY GATES SHALL BE PROVIDED WITH AN APPROVED MEANS FOR EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DETECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE OF THE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6.
  - THE REQUIRED FIRE FLOW FOR FIRE HYDRANTS AT THIS LOCATION IS 1,050 GPM AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF ONE (1) HOUR OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B05.1 APPENDIX B.
  - ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C900, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.
  - PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO THEIR INSTALLATION.
  - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRE PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. RESIDENTIAL CODE R24.4.4.
  - FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4.
  - ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN BUILDING CODE 1505.1 (RESIDENTIAL CODE R27.5.2 & R902).
  - ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN 600P-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYER CONSISTING OF ONE LAYER OF NO. 22 ASPH GAF SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R27.5.3 AND BUILDING CODE 705A.9)
  - ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R27.5.34 AND BUILDING CODE 705A.9)
  - VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGHOUT THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH A MINIMUM 1/8TH INCH SPACING AND SHALL NOT EXCEED 1/8TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (RESIDENTIAL CODE R27.5.4 AND BUILDING CODE 706A.1)
  - CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 325.
  - APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. FIRE CODE 505.1.
  - ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4.
- REQUIRED FIRE FLOW**  
TYPE OF CONSTRUCTION PER THE BUILDING CODE: TYPE V3  
VINTAGE: YES, NO  
SIZE OF LOT (ACRES): 1.33 ACRES  
REQUIRED FIRE FLOW: 1,050 GPM @ 20 PSI FOR 1 HOUR

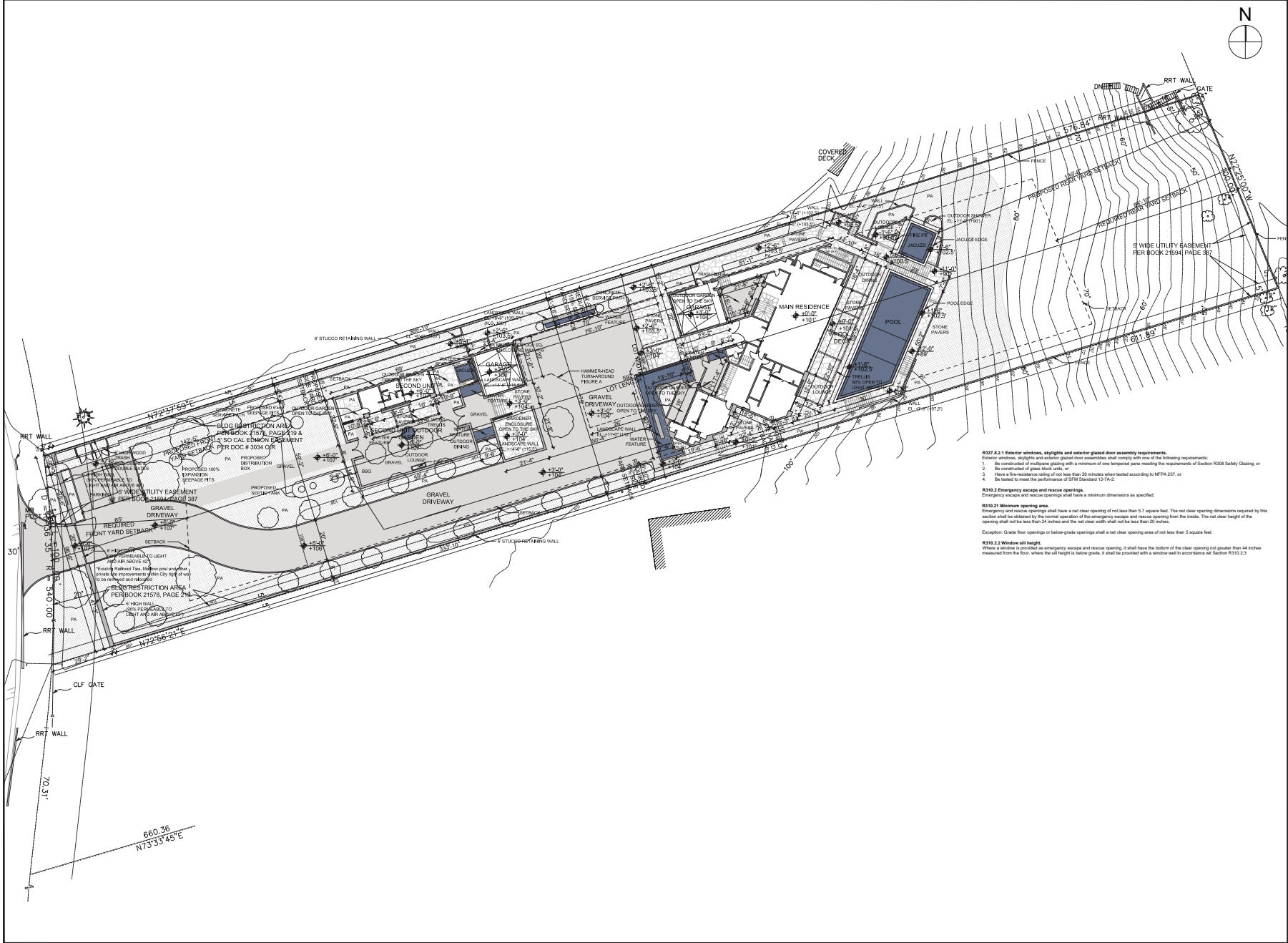
REVISIONS:  
REV | BY | DATE

**AHSIRT**  
ARCHITECTURAL  
HILLSIDE  
ARCHITECTS  
ARCHITECTS  
10000 WILSON AVENUE, SUITE 100  
LOS ANGELES, CA 90024  
TEL: 310-477-1508  
FAX: 310-477-1509

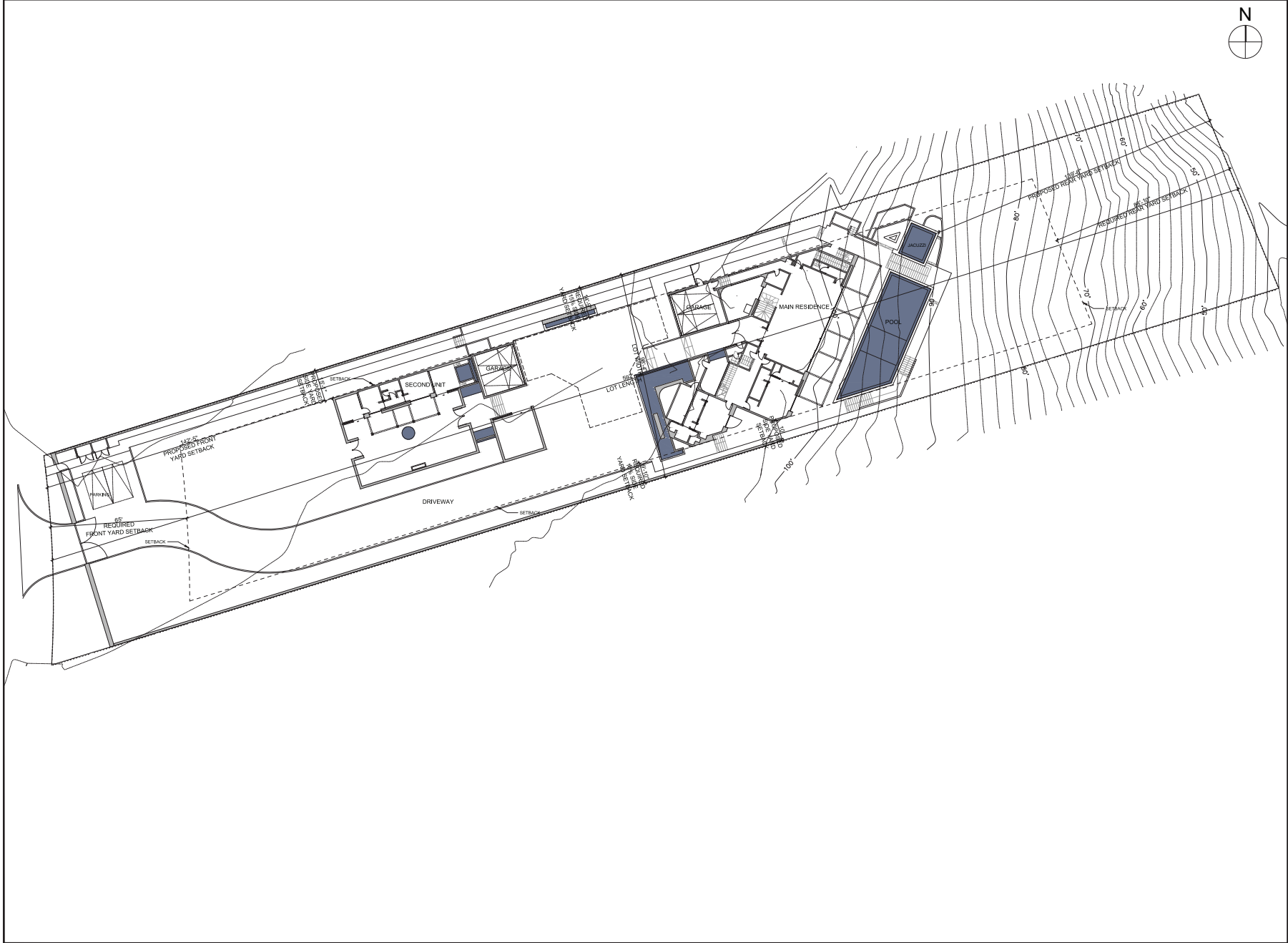
**FIRE DEPARTMENT ACCESS PLAN**  
FOR APPROVAL ONLY - NOT FOR CONSTRUCTION  
6734 ZUMIREZ DRIVE  
MALIBU, CA

REGISTERED PROFESSIONAL ARCHITECT  
67657  
EX-05/2023  
CIVIL  
STATE OF CALIFORNIA

JOB #: 105-16  
DATE: JULY 2022  
DRAWN BY: TJM  
CHECKED BY: TAC  
SHEET NUMBER:  
F1 OF 1



<div><div></div><div>WARREN GARRETT</div><div>ARCHITECTS</div></div>		
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PROJECT		
Zumirez		
PROJECT ADDRESS		
6734 Zumirez Drive, Malibu, CA 90265		
PROJECT OWNER		
IBN Properties LLC 5115 Douglas Fir Road, Suite F Calabasas, CA 91302 US		
PROJECT NOTES		
R307.5.2.1 Exterior windows, skylights and exterior glazed door assembly requirements. Exterior windows, skylights and exterior glazed door assemblies shall comply with one of the following requirements: 1. Be constructed of multiple panes with a minimum of one tempered pane meeting the requirements of Section R308 Safety Glazing, or 2. Be constructed of glass block units, or 3. Have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 251, or 4. Be tested to meet the performance of SFM Standard 12-26-2.		
R310.2 Emergency escape and rescue openings. Emergency escape and rescue openings shall have a minimum dimensions as specified. R310.2.1 Minimum opening area. Emergency and rescue opening shall have a net clear opening of not less than 5.7 square feet. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height of the opening shall not be less than 24 inches and the net clear width shall not be less than 20 inches. Exception: Grade floor openings or below-grade openings shall have a net clear opening area of not less than 5 square feet.		
R310.2.2 Window sill height. When a window is provided as emergency escape and rescue opening, it shall have the bottom of the clear opening not greater than 44 inches measured from the floor, where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3		
REVISION SCHEDULE		
NO.	DATE	ISSUE
	2020/12/21	CDP INITIAL SUBMITTAL
1	2021/06/28	PLANNING RE-SUBMIT
2	2021/09/12	PLANNING RE-SUBMIT
3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT
DRAWING DESCRIPTION		
PROPOSED SITE PLAN		
DRAWING NO.		
A-0.1		
PROJECT	Zumirez	
DATE	JUNE 20, 2022	
SCALE	1" = 20'	
DRAWN BY	MP, MS	



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PROJECT

Zumirez

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER

IBN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

REVISION SCHEDULE

NO.	DATE	ISSUE
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1	2021/05/28	PLANNING RE-SUBMIT
2	2021/09/12	PLANNING RE-SUBMIT
3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

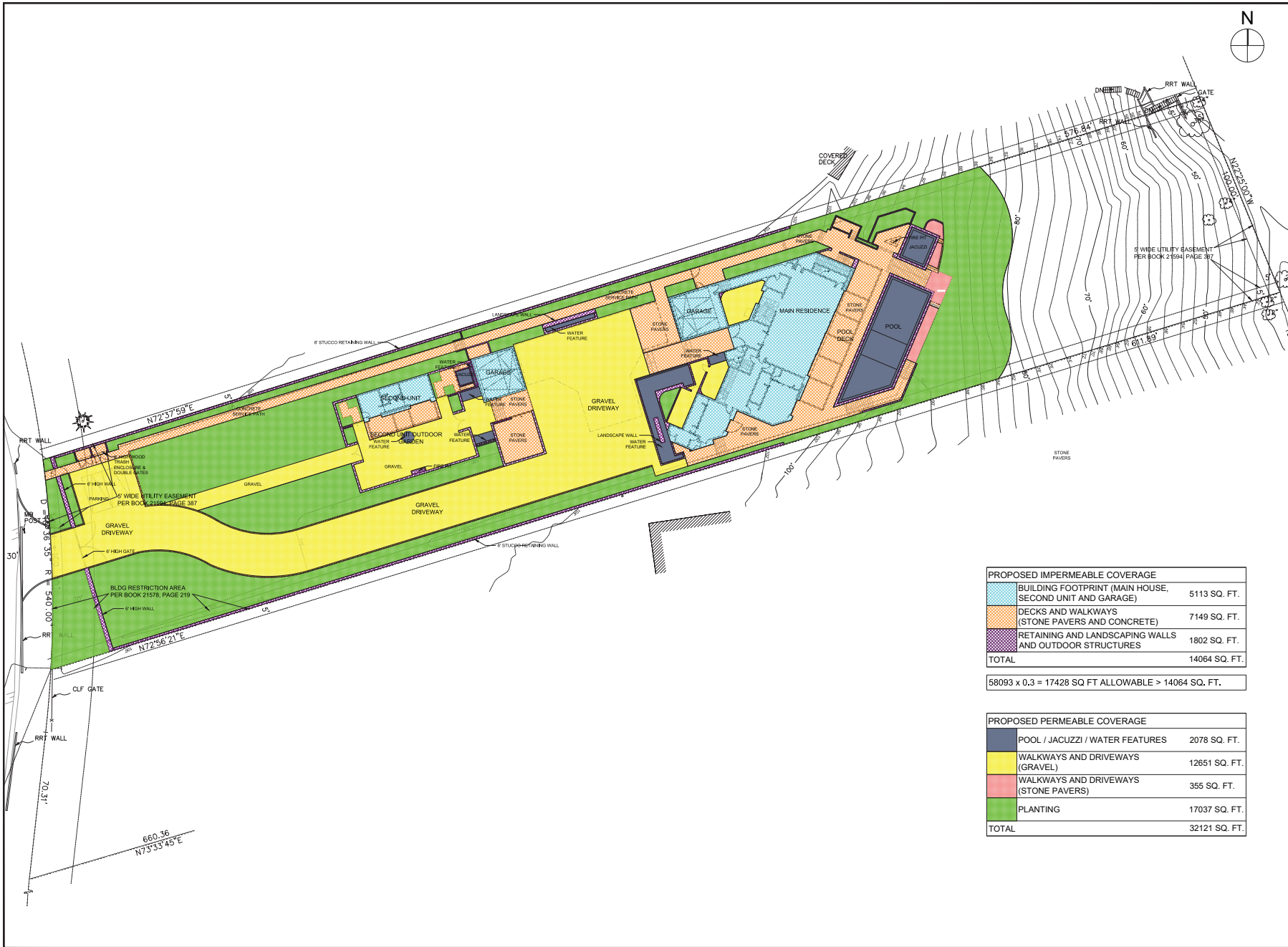
DRAWING DESCRIPTION

SITE PLAN EXHIBIT

DRAWING NO.

A-0.2

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1" = 20'
DRAWN BY	MP, MS



PROPOSED IMPERMEABLE COVERAGE		
BUILDING FOOTPRINT (MAIN HOUSE, SECOND UNIT AND GARAGE)	5113 SQ. FT.	
DECKS AND WALKWAYS (STONE PAVERS AND CONCRETE)	7149 SQ. FT.	
RETAINING AND LANDSCAPING WALLS AND OUTDOOR STRUCTURES	1802 SQ. FT.	
<b>TOTAL</b>	<b>14064 SQ. FT.</b>	

58093 x 0.3 = 17428 SQ FT ALLOWABLE > 14064 SQ. FT.

PROPOSED PERMEABLE COVERAGE		
POOL / JACUZZI / WATER FEATURES	2078 SQ. FT.	
WALKWAYS AND DRIVEWAYS (GRAVEL)	12651 SQ. FT.	
WALKWAYS AND DRIVEWAYS (STONE PAVERS)	355 SQ. FT.	
PLANTING	17037 SQ. FT.	
<b>TOTAL</b>	<b>32121 SQ. FT.</b>	



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#### PROJECT

## Zumirez

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

#### PROJECT NOTES

#### REVISION SCHEDULE

NO.	DATE	ISSUE
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1	2021/05/28	PLANNING RE-SUBMIT
2	2021/09/12	PLANNING RE-SUBMIT
3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

#### DRAWING DESCRIPTION

#### IMPERMEABLE / PERMEABLE COVERAGE

#### DRAWING NO.

## A-0.3

#### PROJECT

Zumirez

#### DATE

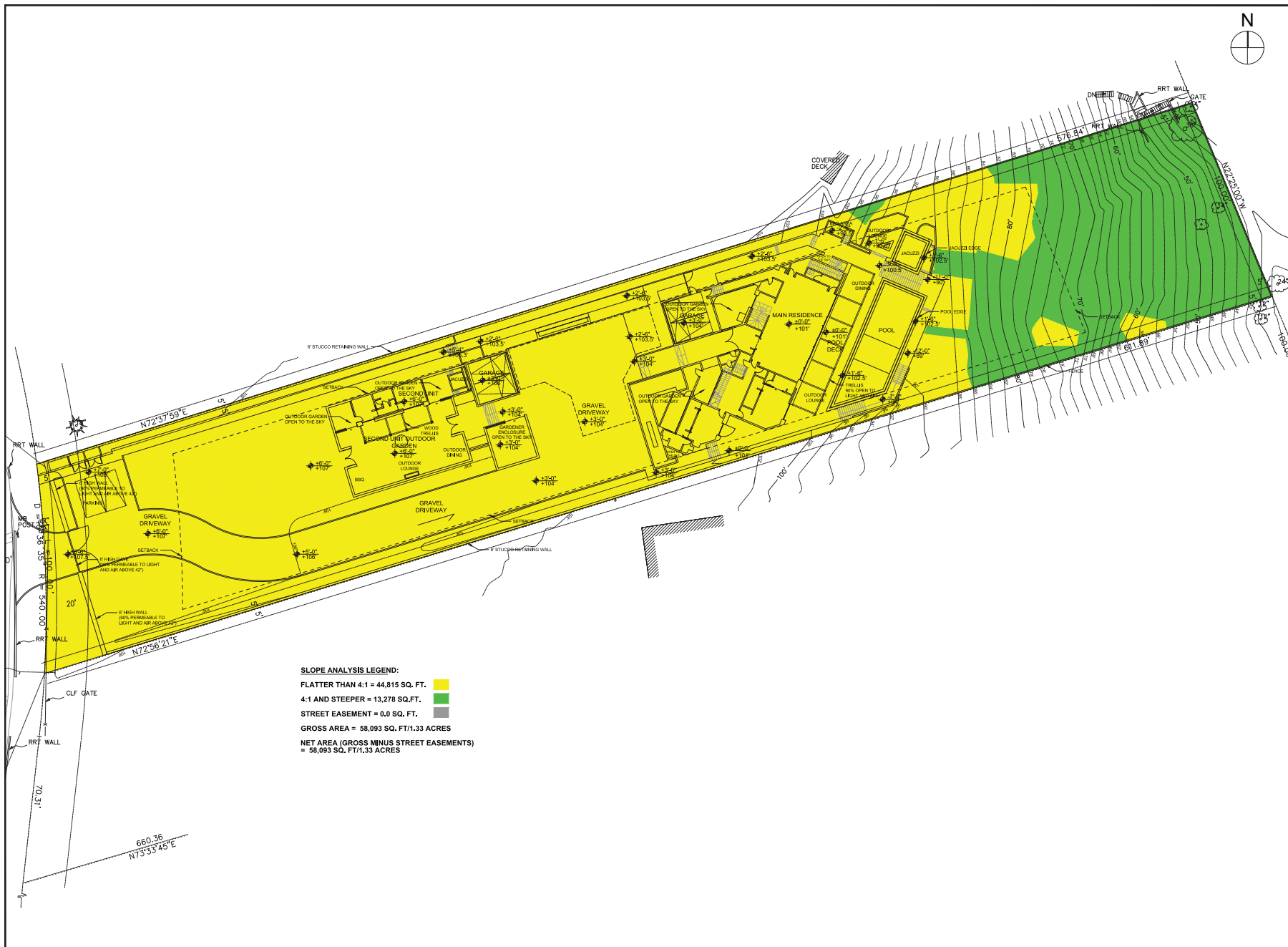
JUNE 20, 2022

#### SCALE

1" = 20'

#### DRAWN BY

MP, MS



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PROJECT

**Zumirez**

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

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3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

DRAWING DESCRIPTION

COLOR CODED SLOPE ANALYSIS  
OVERLAY WITH SITE PLAN

DRAWING NO.

**A-0.4**

PROJECT

Zumirez

DATE

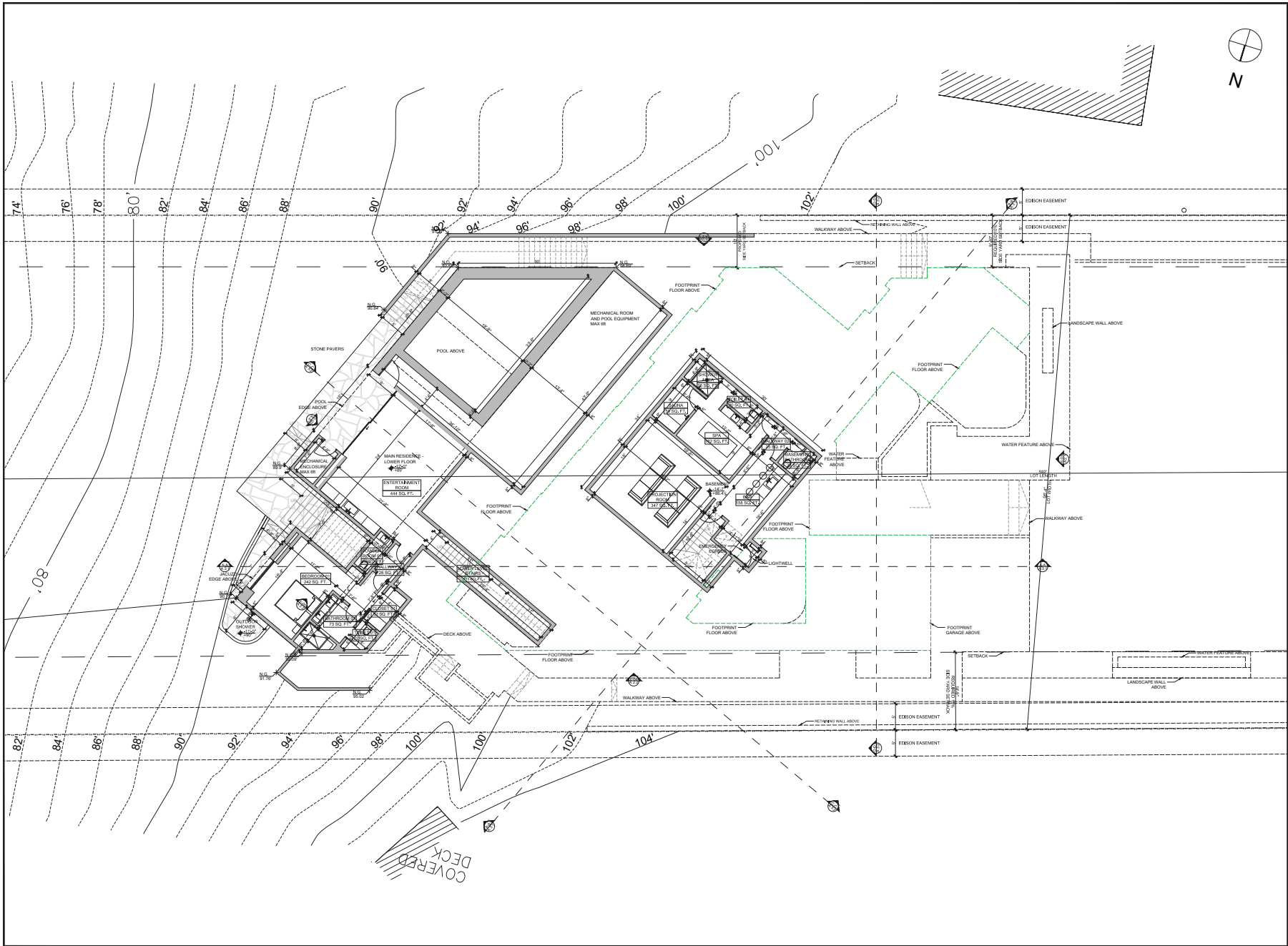
JUNE 20, 2022

SCALE

1" = 20'

DRAWN BY

MP, MS



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PROJECT

## Zumirez

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER

IBN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

REVISION SCHEDULE

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4	2022/06/20	PLANNING RE-SUBMIT

DRAWING DESCRIPTION

MAIN RESIDENCE - PROPOSED  
LOWER FLOOR AND BASEMENT  
PLAN

DRAWING NO.

A-1.1

PROJECT

Zumirez

DATE

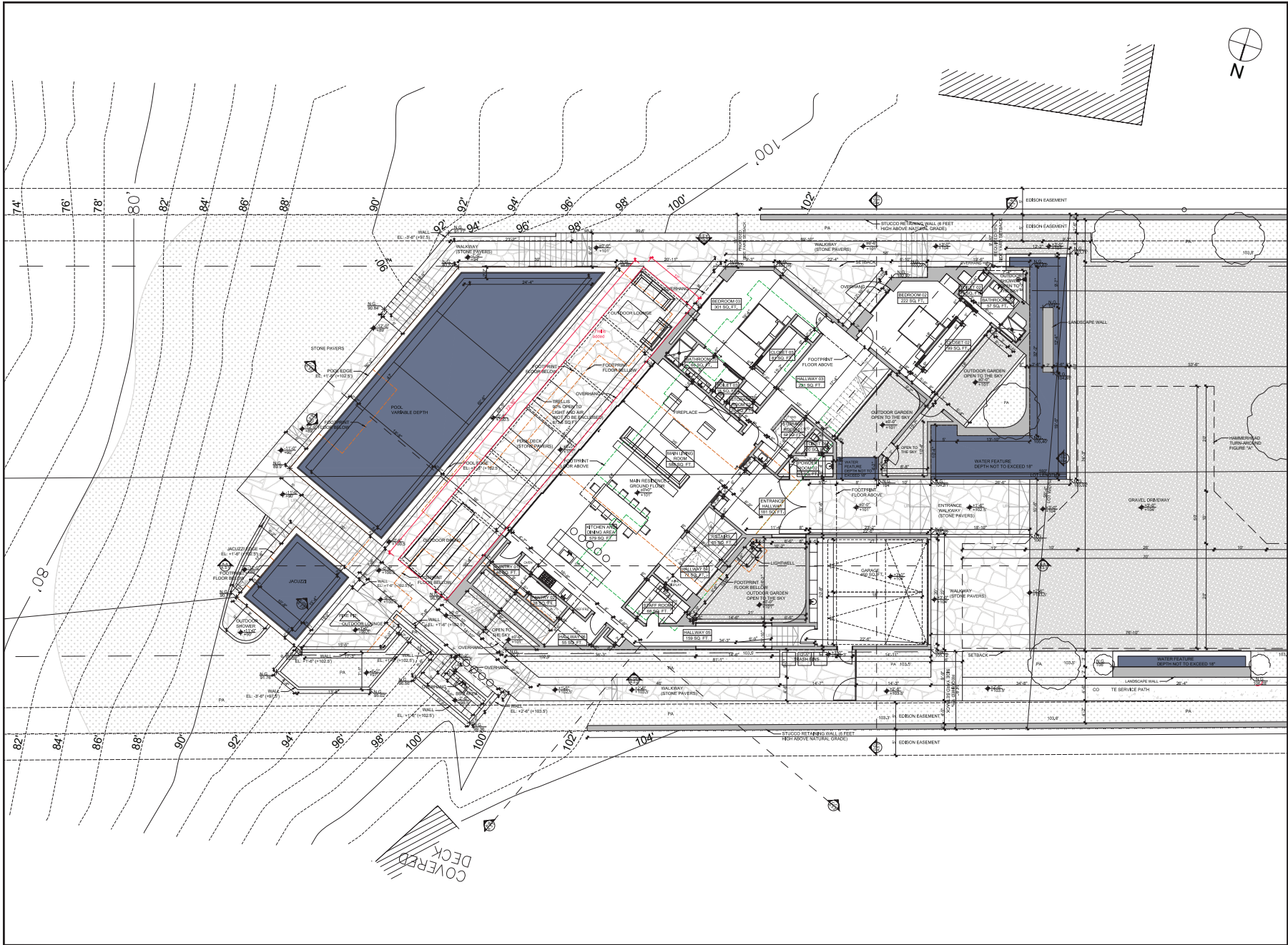
JUNE 20, 2022


SCALE

1/8" = 1'-0"

DRAWN BY

MP, MS





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ARCHITECTS

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**PROJECT**

**Zumirez**

**PROJECT ADDRESS**  
6734 Zumirez Drive, Malibu, CA 90265

**PROJECT OWNER**  
BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Culver City, CA 91502 US

**PROJECT NOTES**

**REVISION SCHEDULE**

NO.	DATE	ISSUE
1	2020/12/21	CDP INITIAL SUBMITTAL
2	2021/06/28	PLANNING RE-SUBMIT
3	2021/09/12	PLANNING RE-SUBMIT
4	2022/05/26	PLANNING RE-SUBMIT
5	2022/06/20	PLANNING RE-SUBMIT

**DRAWING DESCRIPTION**

**MAIN RESIDENCE - PROPOSED GROUND FLOOR PLAN**

**DRAWING NO.**

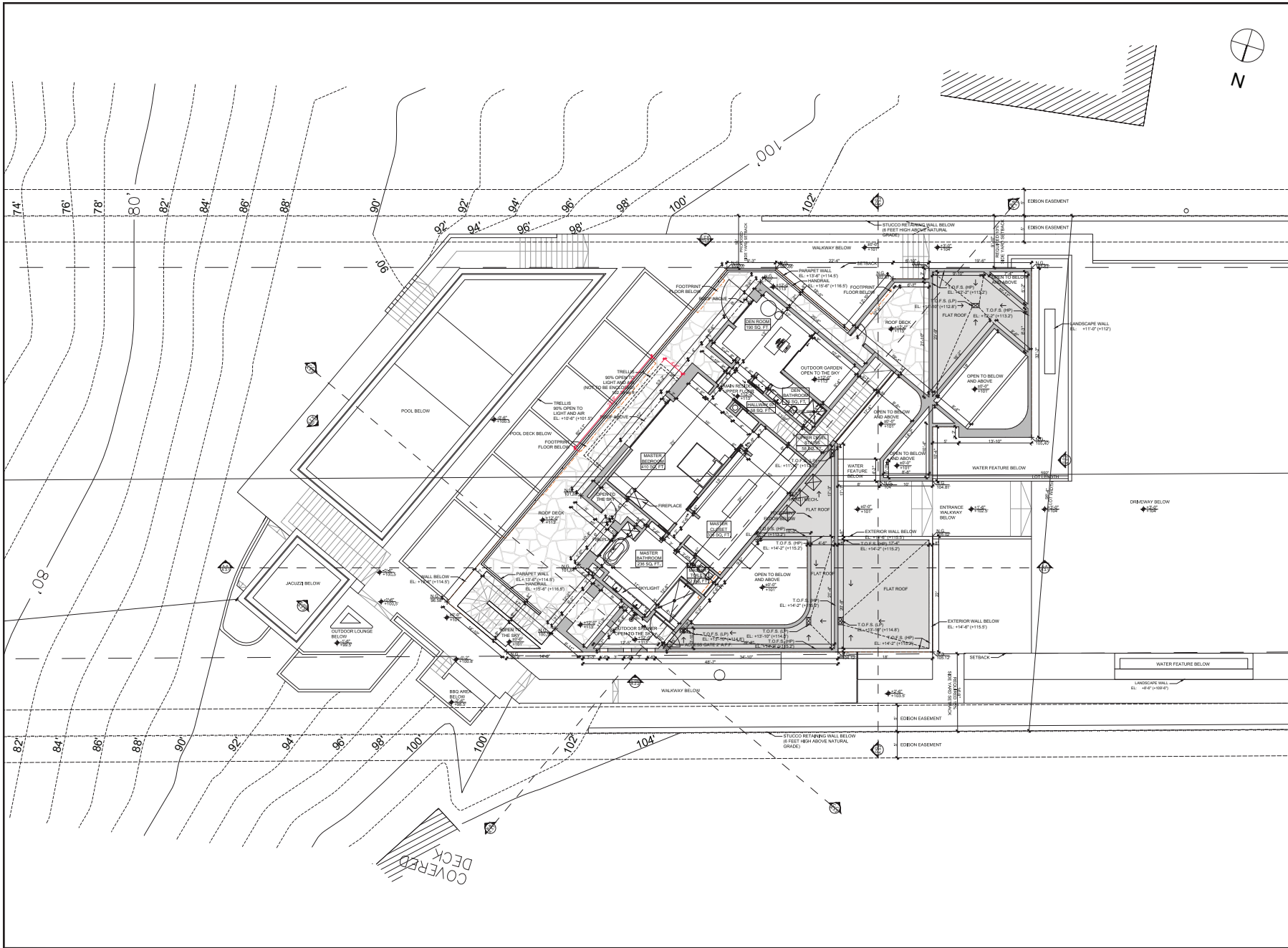
**A-1.2**

**PROJECT** Zumirez

**DATE** JUNE 20, 2022

**SCALE** 1/8" = 1'-0"

**DRAWN BY** MP, MS



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#### PROJECT

## Zumirez

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

#### PROJECT NOTES

#### REVISION SCHEDULE

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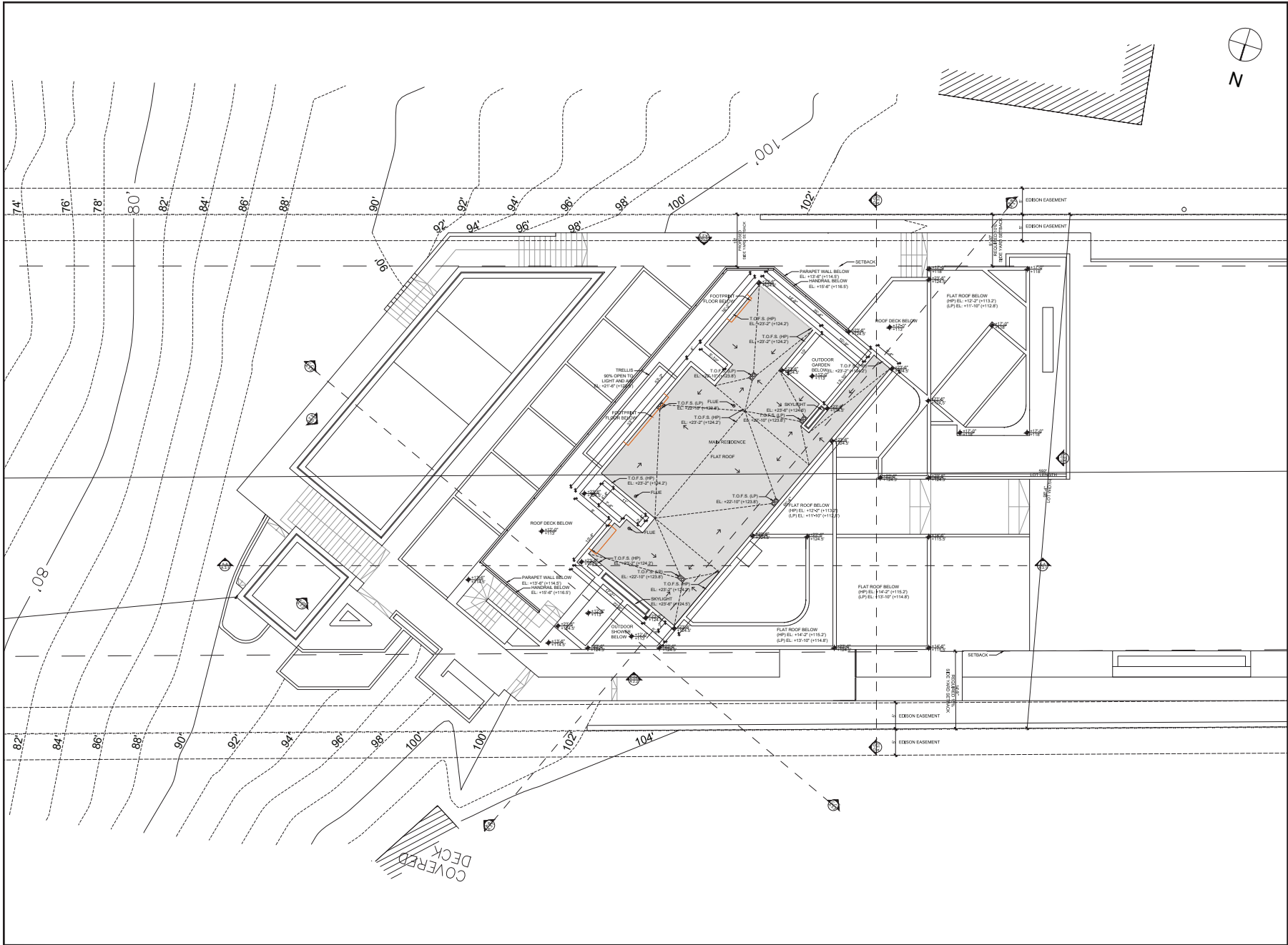
#### DRAWING DESCRIPTION

MAIN RESIDENCE - PROPOSED  
UPPER FLOOR PLAN

#### DRAWING NO.

A-1.3

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1/8" = 1'-0"
DRAWN BY	MP, MS





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PROJECT

**Zumirez**

PROJECT ADDRESS  
6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER  
BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

REVISION SCHEDULE

NO.	DATE	ISSUE
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3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

DRAWING DESCRIPTION

MAIN RESIDENCE - PROPOSED  
ROOF PLAN

DRAWING NO.

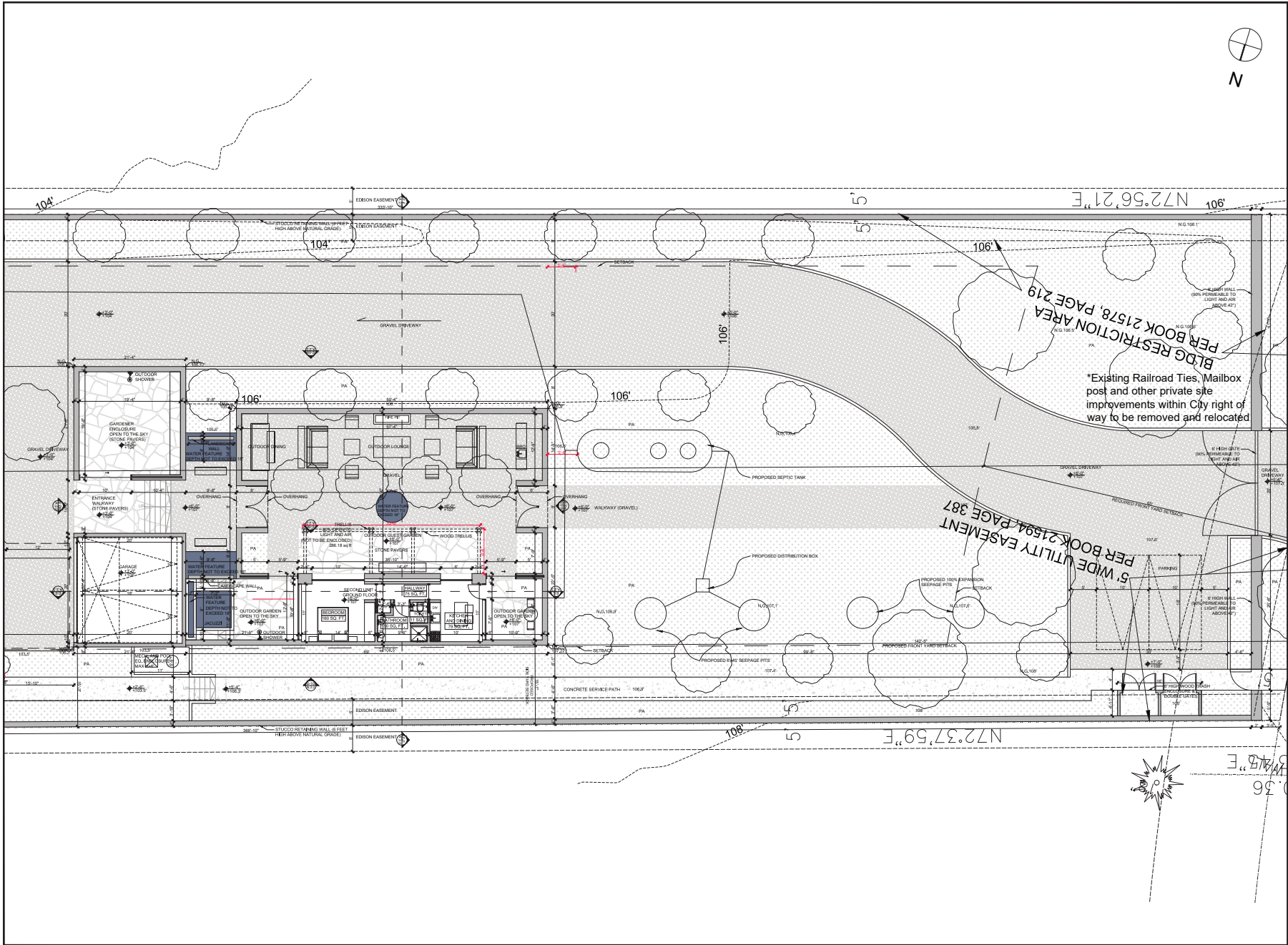
**A-1.4**


PROJECT Zumirez

DATE JUNE 20, 2022

SCALE 1/8" = 1'-0"

DRAWN BY MP, MS





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PROJECT

**Zumirez**

PROJECT ADDRESS  
6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER  
BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

REVISION SCHEDULE

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4	2022/05/26	PLANNING RE-SUBMIT
5	2022/06/20	PLANNING RE-SUBMIT

DRAWING DESCRIPTION

**SECOND UNIT - PROPOSED GROUND FLOOR PLAN**

DRAWING NO.

**A-1.5**

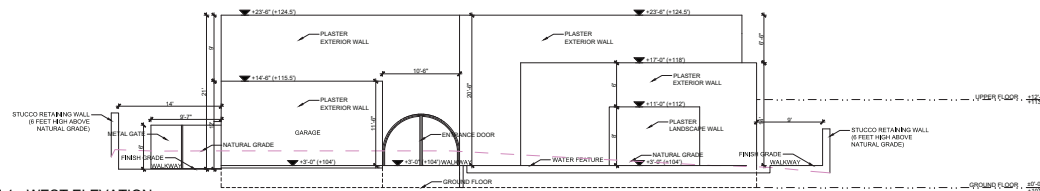
PROJECT  
Zumirez

DATE  
JUNE 20, 2022

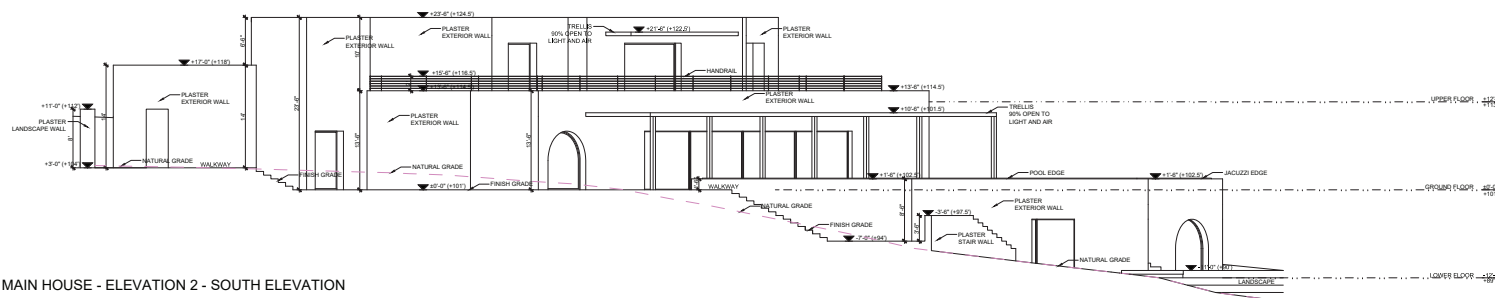
SCALE  
1/8" = 1'-0"

DRAWN BY  
MP, MS

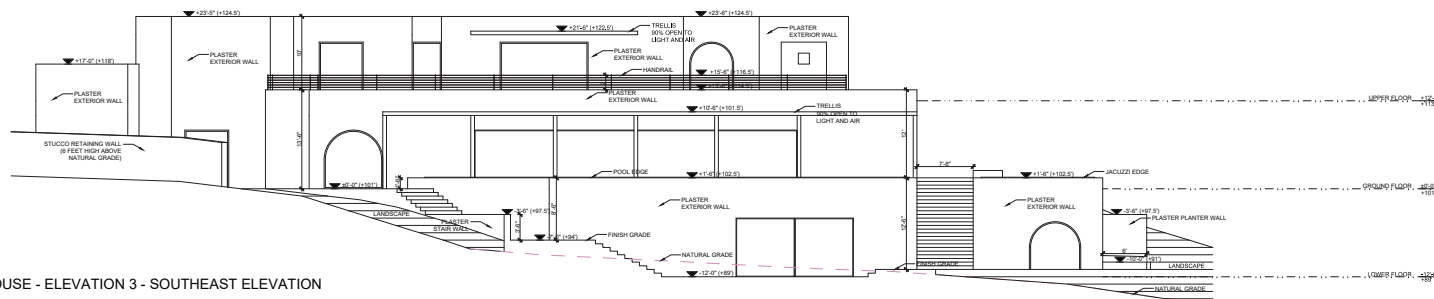




MAIN HOUSE - ELEVATION 1 - WEST ELEVATION



MAIN HOUSE - ELEVATION 2 - SOUTH ELEVATION



MAIN HOUSE - ELEVATION 3 - SOUTHEAST ELEVATION



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# PROJECT

## Zumirez

### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

### PROJECT NOTES

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3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

### DRAWING DESCRIPTION

MAIN RESIDENCE - PROPOSED  
ELEVATIONS 1, 2 & 3

### DRAWING NO.

A-2.1

### PROJECT

Zumirez

### DATE

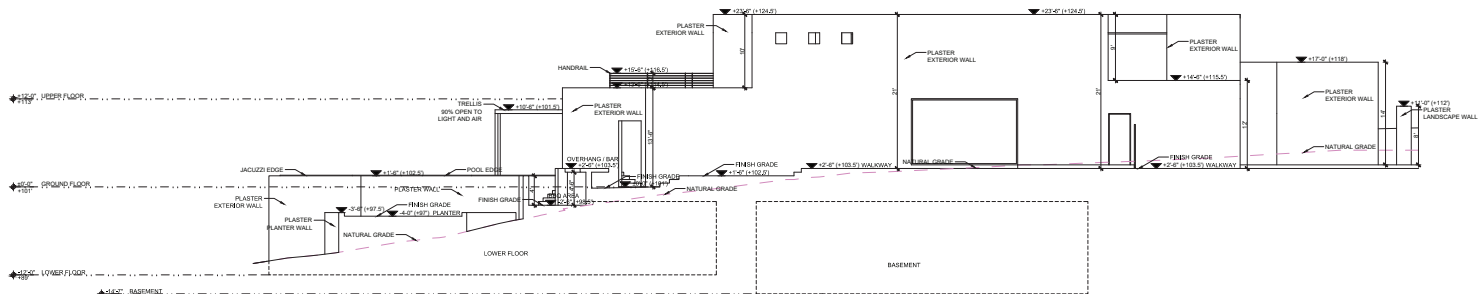
JUNE 20, 2022

### SCALE

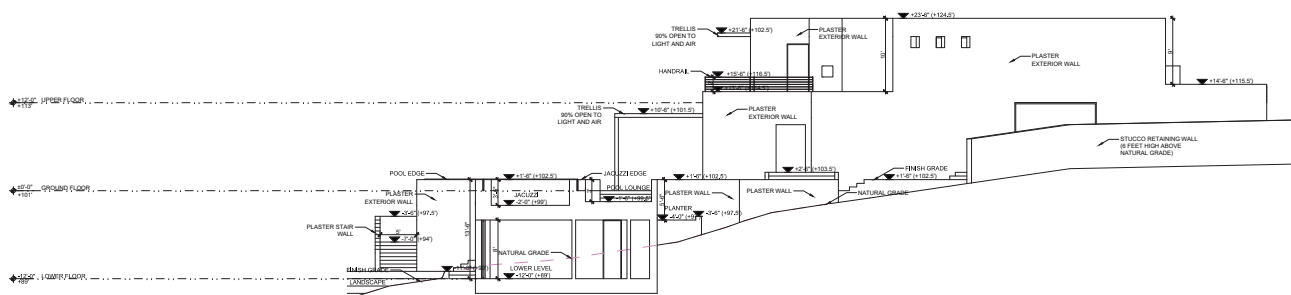
1/8" = 1'-0"

### DRAWN BY

MP, MS



MAIN HOUSE - ELEVATION 4 - NORTH ELEVATION



MAIN HOUSE - ELEVATION 5 - NORTHEAST ELEVATION



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#### PROJECT

## Zumirez

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#### PROJECT OWNER

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Calabasas, CA 91302 US

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3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

#### DRAWING DESCRIPTION

MAIN RESIDENCE - PROPOSED  
ELEVATIONS 4 & 5

#### DRAWING NO.

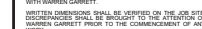
A-2.2

PROJECT Zumirez

DATE JUNE 20, 2022

SCALE 1/8" = 1'-0"

DRAWN BY MP, MS



**Zumirez**

IBN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas CA 91302 US

REVISION SCHEDULE
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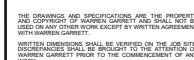
NO.	DATE	ISSUE
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1	2021/05/28	PLANNING RE-SUBMT
2	2021/08/12	PLANNING RE-SUBMT
3	2022/05/26	PLANNING RE-SUBMT
4	2022/06/20	PLANNING RE-SUBMT

**SECOND UNIT - PROPOSED  
ELEVATIONS 6, 7, 8, 9 & 10 AND  
FRONT GATE**

### A-2.3

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1/8" = 1'-0"
DRAWN BY	MP, MS





**Zumirez**

IBN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas CA 91302 US

REVISION SCHEDULE
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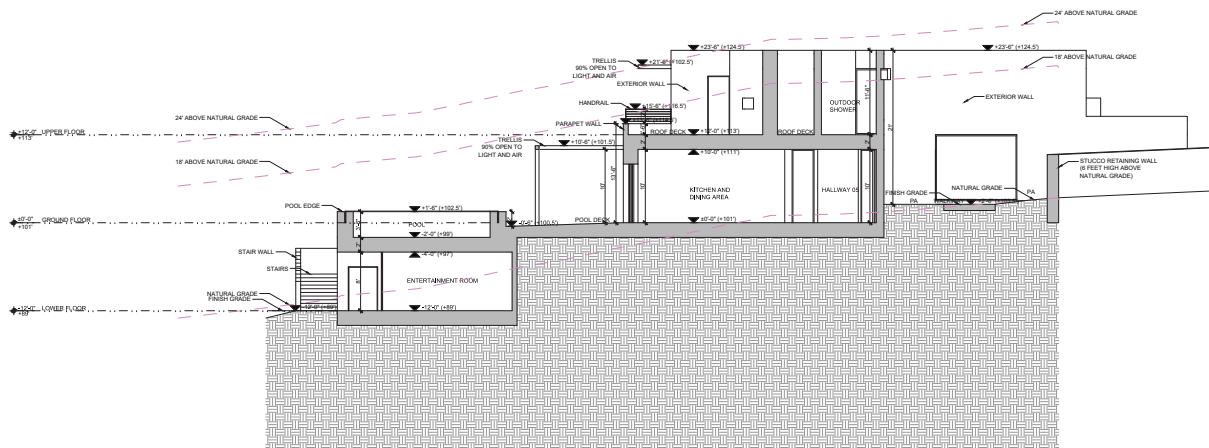
NO.	DATE	ISSUE
	2020/12/21	CDP INITIAL SUBMITTAL
1	2021/05/28	PLANNING RE-SUBMT
2	2021/08/12	PLANNING RE-SUBMT
3	2022/05/26	PLANNING RE-SUBMT
4	2022/06/20	PLANNING RE-SUBMT

**MAIN RESIDENCE - PROPOSED  
SECTIONS A-A & B-B**

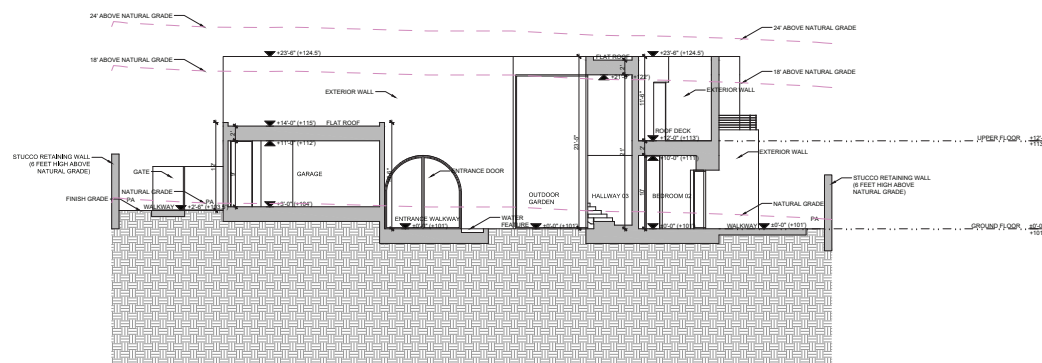
### A-3.1

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1/8" = 1'-0"
DRAWN BY	MP, MS





MAIN HOUSE - SECTION C-C



MAIN HOUSE - SECTION D-D



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WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF WARREN GARRETT PRIOR TO THE COMMENCEMENT OF ANY WORK.

#### PROJECT

## Zumirez

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

#### PROJECT NOTES

#### REVISION SCHEDULE

NO.	DATE	ISSUE
	2020/12/21	CDP INITIAL SUBMITTAL
1	2021/06/28	PLANNING RE-SUBMIT
2	2021/09/12	PLANNING RE-SUBMIT
3	2022/05/26	PLANNING RE-SUBMIT
4	2022/06/20	PLANNING RE-SUBMIT

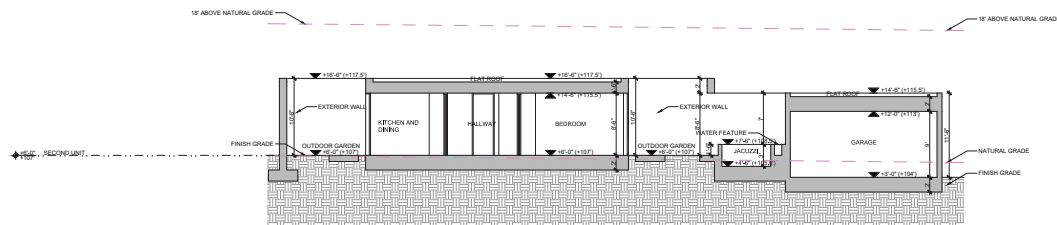
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#### MAIN RESIDENCE - PROPOSED SECTIONS C-C & D-D

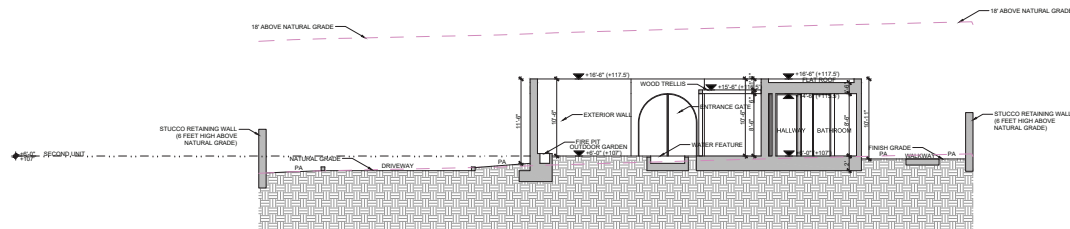
#### DRAWING NO.

## A-3.2

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1/8" = 1'-0"
DRAWN BY	MP, MS



SECOND UNIT - SECTION E-E



SECOND UNIT - SECTION F-F



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#### PROJECT

**Zumirez**

#### PROJECT ADDRESS

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BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

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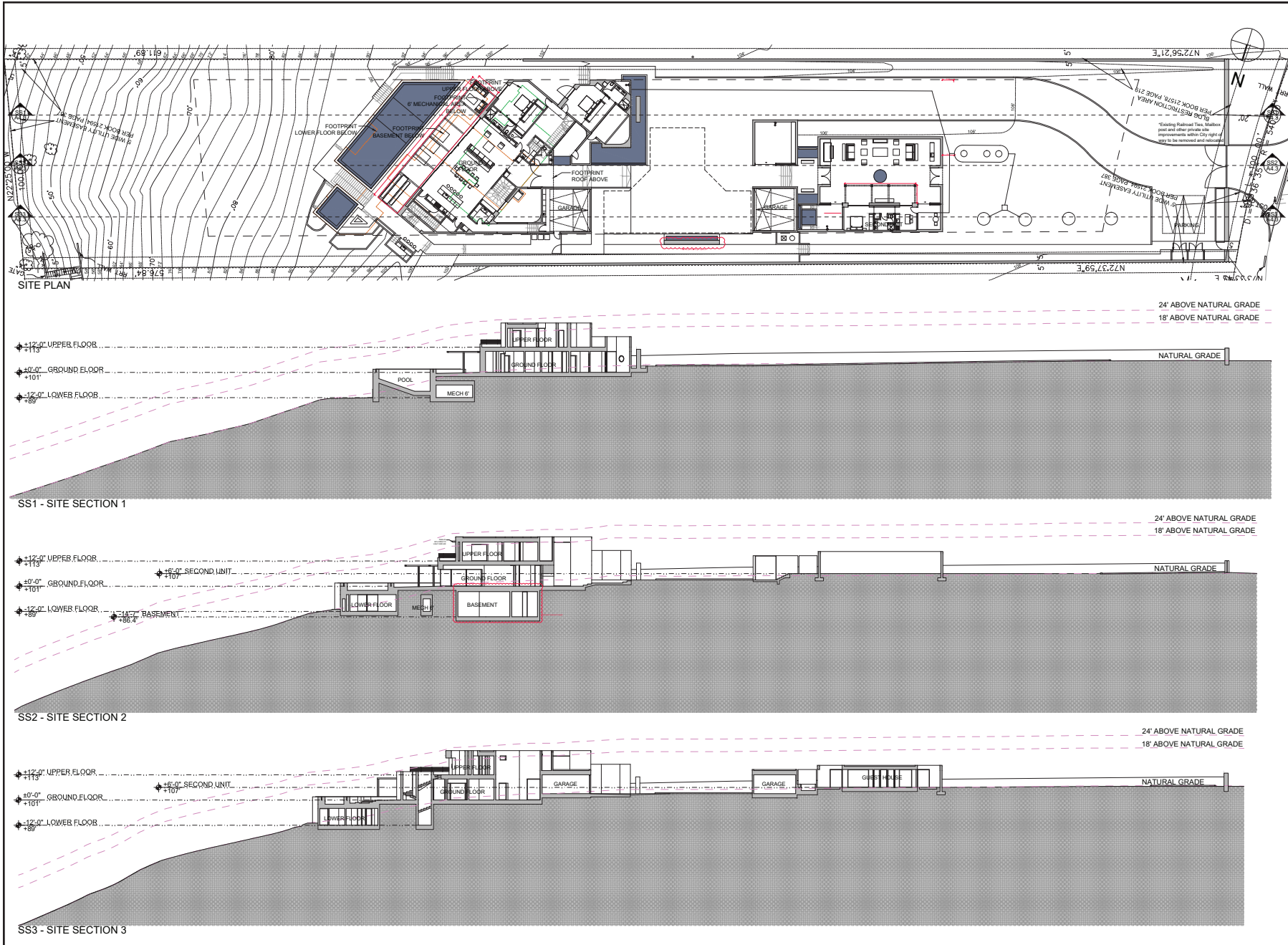
#### DRAWING DESCRIPTION

SECOND UNIT - PROPOSED  
SECTIONS E-E & F-F

#### DRAWING NO.

**A-3.3**

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1/8" = 1'-0"
DRAWN BY	MP, MS



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#### PROJECT

## Zumirez

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

#### PROJECT NOTES

#### REVISION SCHEDULE

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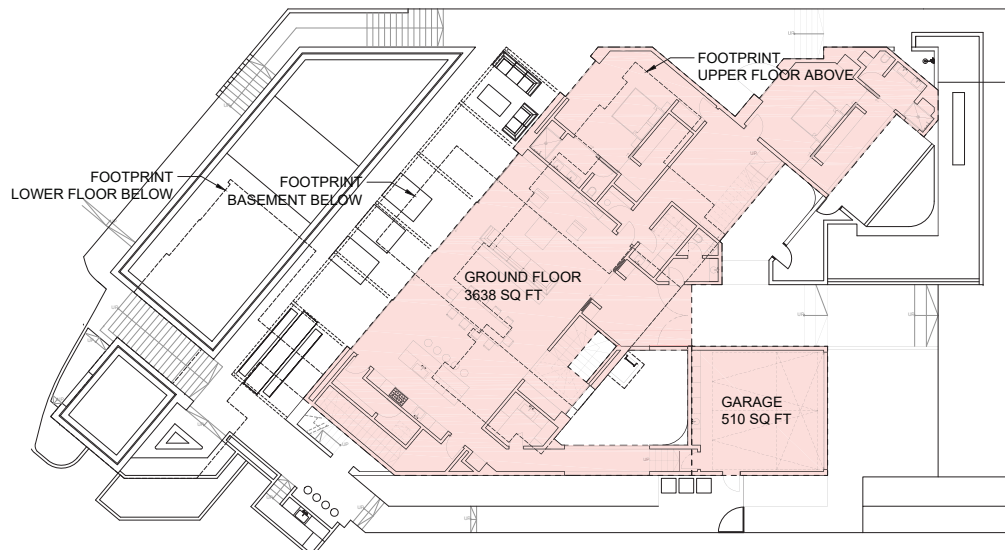
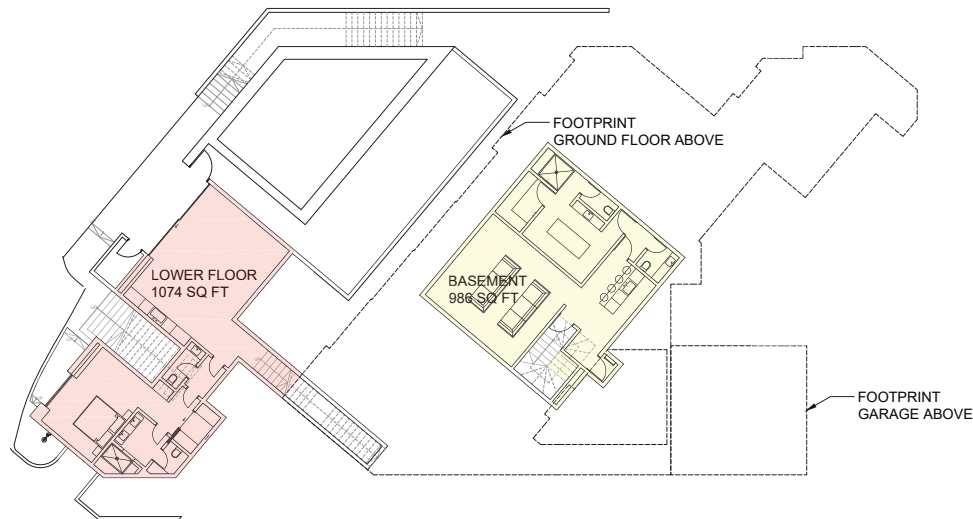
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TWO STORY & BASEMENT EXHIBIT

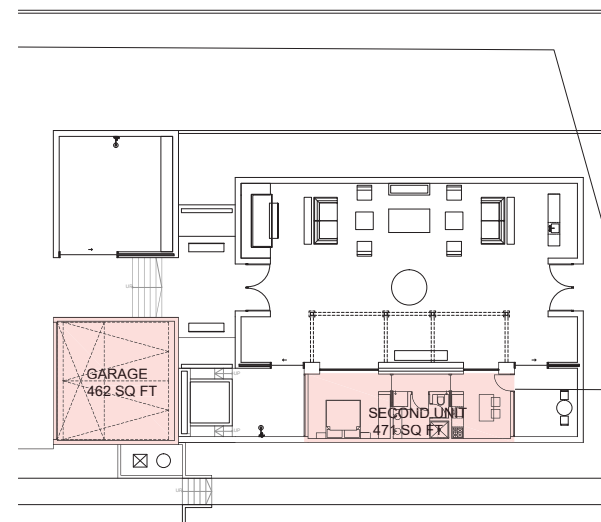
#### DRAWING NO.

**A-4.3**

PROJECT	Zumirez
DATE	JUNE 20, 2022
SCALE	1" = 20'
DRAWN BY	MP, MS



T.D.S.F. CALCULATION MATH
$(21780 \times 0.177) + (21780 \times 0.1) + (14533 \times 0.05) + 1000 = 7760 \text{ SQ FT}$
PROPOSED AREA TABULATION
MAIN RESIDENCE TDSF: 6284 SQ FT
(LOWER FLOOR: 1074 SQ FT GROUND FLOOR: 3638 SQ FT UPPER FLOOR: 1572 SQ FT)
MAIN RESIDENCE GARAGE: 510 SQ FT
SECOND UNIT: 471 SQ FT SECOND UNIT GARAGE: 462 SQ FT
PROPOSED T.D.S.F.: 7727 SQ FT BASEMENT (EXCLUDED FROM T.D.S.F CALCULATION): 986 SQ FT
AREA 2/3RDS RULE ANALYSIS
FIRST FLOOR AREA (LOWER FLOOR, GROUND FLOOR AND ATTACHED GARAGE): 5222 SQ FT 2/3RD CALCULATION: $5222 \times 2/3 = 3481 \text{ SQ FT}$ PROPOSED SECOND FLOOR AREA (UPPER FLOOR) = 1572 SQ FT < 3481 SQ FT



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PROJECT

**Zumirez**

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

PROJECT NOTES

REVISION SCHEDULE

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2	2021/09/12	PLANNING RE-SUBMIT
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4	2022/06/20	PLANNING RE-SUBMIT

DRAWING DESCRIPTION

TDSF & 2/3RDS EXHIBIT PAGE 1

DRAWING NO.

**A-4.1**

PROJECT

Zumirez

DATE

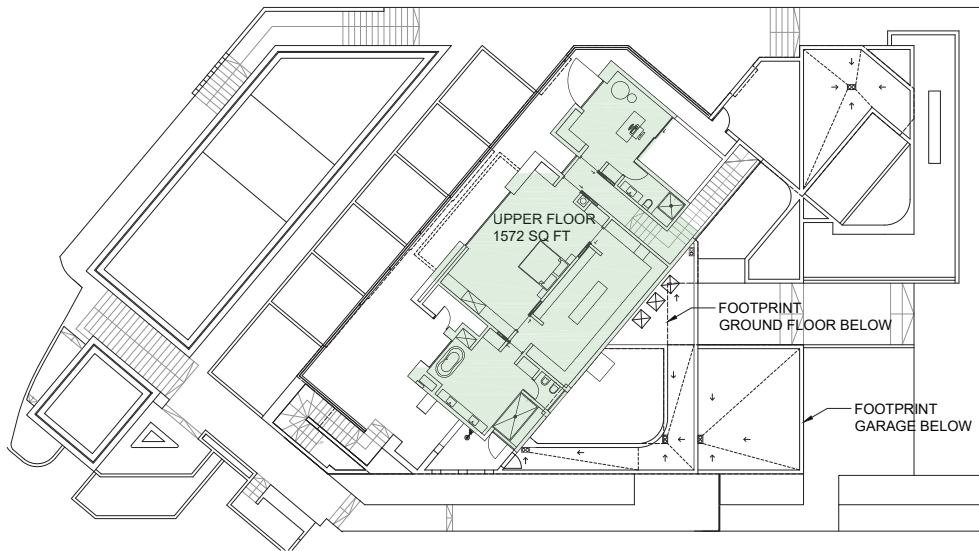
JUNE 20 2022

SCALE

1" = 10'

DRAWN BY

MP, MS



#### T.D.S.F. CALCULATION MATH

$$(21780 \times 0.177) + (21780 \times 0.1) + (14533 \times 0.05) + 1000 = 7760 \text{ SQ FT}$$

#### PROPOSED AREA TABULATION

MAIN RESIDENCE TDSF: 6284 SQ FT

(LOWER FLOOR: 1074 SQ FT  
GROUND FLOOR: 3638 SQ FT  
UPPER FLOOR: 1572 SQ FT)

MAIN RESIDENCE GARAGE: 510 SQ FT

SECOND UNIT: 471 SQ FT  
SECOND UNIT GARAGE: 462 SQ FT

PROPOSED T.D.S.F.: 7727 SQ FT  
BASEMENT (EXCLUDED FROM T.D.S.F CALCULATION): 986 SQ FT

#### AREA 2/3RDS RULE ANALYSIS

FIRST FLOOR AREA (LOWER FLOOR, GROUND FLOOR AND ATTACHED GARAGE): 5222 SQ FT  
2/3RD CALCULATION:  $5222 \times \frac{2}{3} = 3481 \text{ SQ FT}$   
PROPOSED SECOND FLOOR AREA (UPPER FLOOR) = 1572 SQ FT < 3481 SQ FT



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#### PROJECT

**Zumirez**

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT OWNER

BN Properties LLC  
5115 Douglas Fir Road, Suite F  
Calabasas, CA 91302 US

#### PROJECT NOTES

#### REVISION SCHEDULE

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#### DRAWING DESCRIPTION

TDSF & 2/3RDS EXHIBIT PAGE 2

#### DRAWING NO.

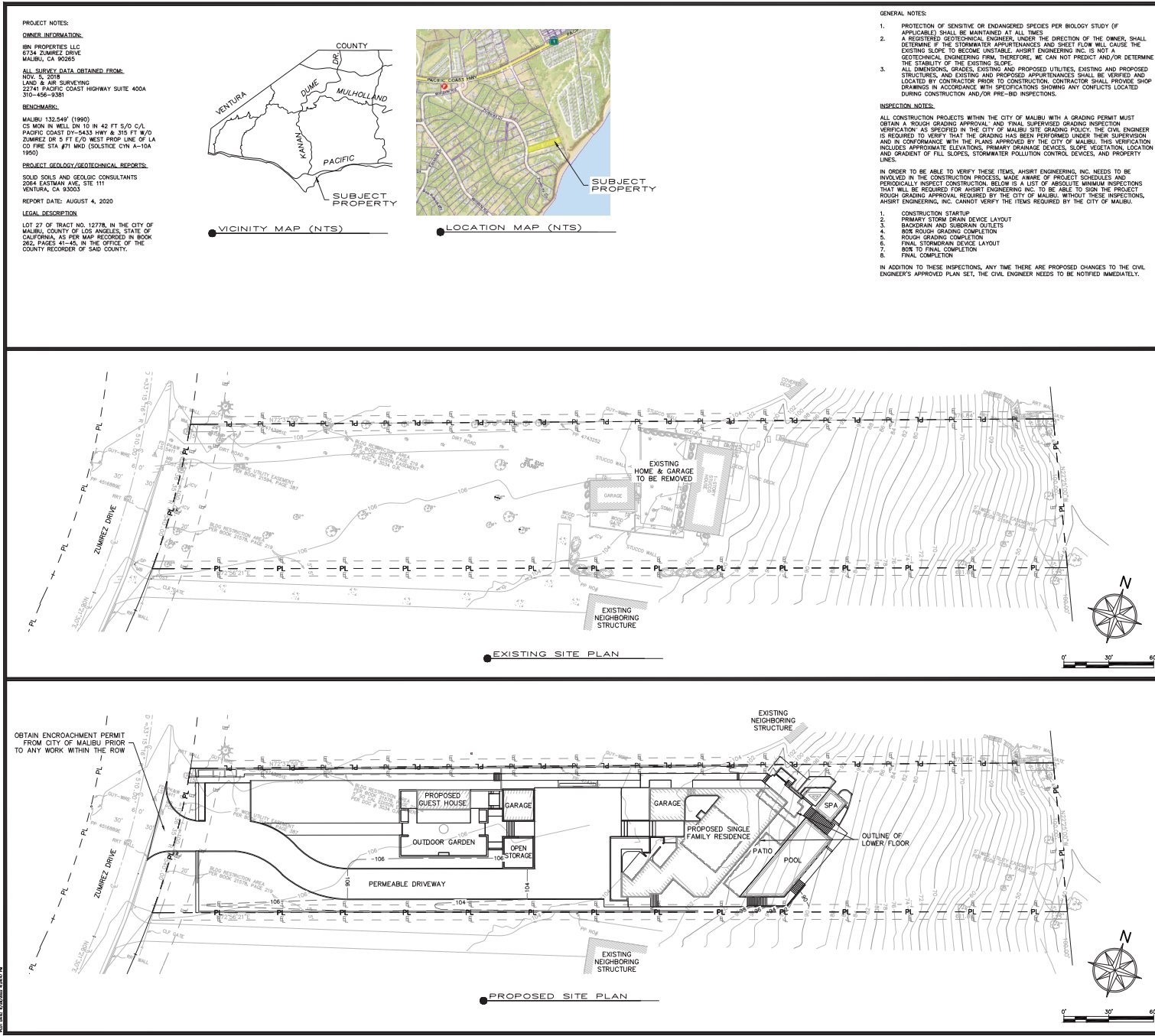
**A-4.2**

PROJECT Zumirez

DATE JUNE 20, 2022

SCALE 1" = 10'

DRAWN BY MP, MS



REVISIONS:

REV.	BY	DATE
1	W.A. COFFEY	08/04/2020
2	W.A. COFFEY	08/04/2020
3	W.A. COFFEY	08/04/2020
4	W.A. COFFEY	08/04/2020
5	W.A. COFFEY	08/04/2020
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98	W.A. COFFEY	08/04/2020
99	W.A. COFFEY	08/04/2020
100	W.A. COFFEY	08/04/2020

PROJECT INFORMATION, EXISTING AND PROPOSED SITE PLAN  
FOR APPROVAL ONLY - NOT FOR CONSTRUCTION  
6734 ZUMIREZ DRIVE  
MALIBU, CA

CITY OF MALIBU

23825 Stuart Ranch Road - Malibu, California 90265-4861  
Phone (310) 456-2489 - Fax (310) 456-7609 [www.malibu.gov](http://www.malibu.gov)

TOTAL GRADING YARDAGE VERIFICATION CERTIFICATE  
PLANNING DEPARTMENT REVIEW LEVEL

PROJECT NUMBER: \_\_\_\_\_  
PROJECT ADDRESS: 6734 ZUMIREZ DRIVE

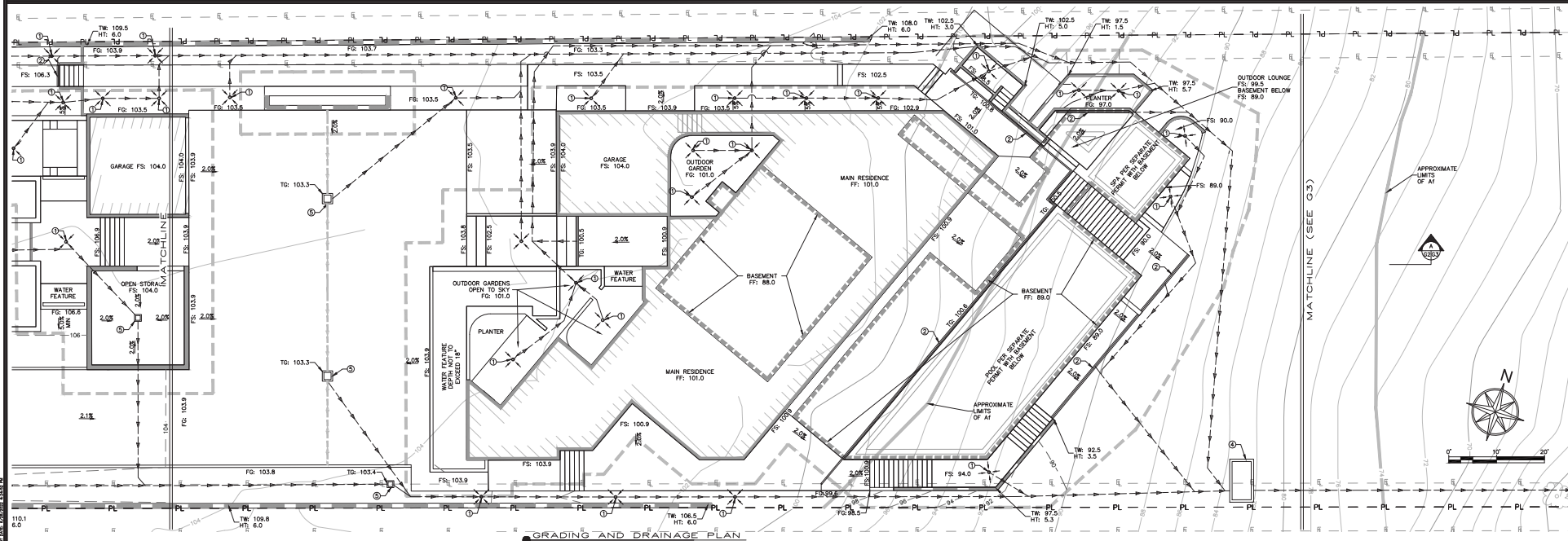
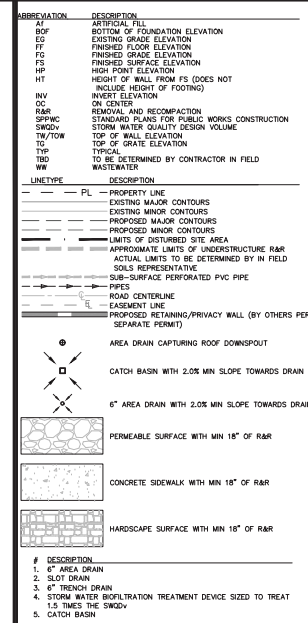
All projects proposing land form alteration which involves more than 100 cubic yards of grading shall complete this form. The completed form must be provided at the time of Planning Department application for grading approval. All applicable cubic yardage shall be entered in the table. All calculations utilized to estimate the cubic yardages indicated shall be attached to this form. The form and the required calculations must be prepared by a State of California Licensed Civil Engineer. The form and the calculations shall be stamped and wet signed by the preparing party.

	EXEMPT			NON REMEDIAL			TOTAL
	R&R	UNDERSTRUCTURE	SAFETY	EXEMPT	GRADING	SAFETY	
CUT	3950	1500	210	685	0	0	6345
FILL	3650	30	0	280	0	0	4260
TOTAL	7600	1530	210	965	0	0	10605
IMPORT	0	0	0	0	0	0	0
EXPORT	0	1470	210	405	0	0	2085

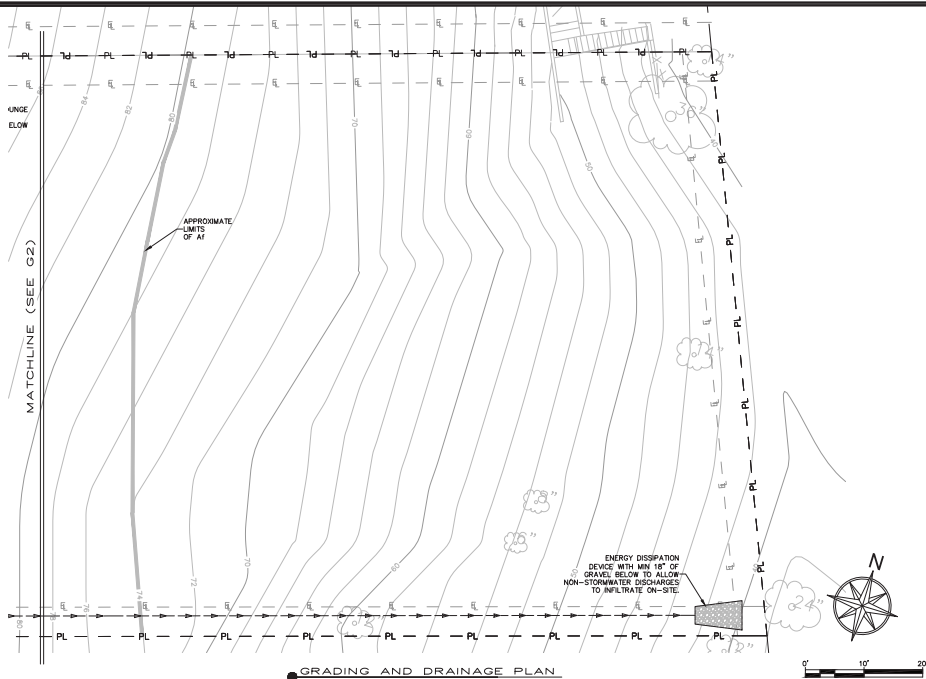
All quantities indicated shall be in cubic yards only.  
R&R = Removal and Reimportation - R&R must be balanced.  
Safety Grading is required grading for L.A. County Fire Department access beyond the 15 foot minimum access and may include curbs, sidewalks, ramps, and access needed for fire trucks.  
Remedial Grading is grading recommended by a full site geotechnical or soils report prepared by a licensed geotechnical or soils engineer which is necessary to correct physical deficiencies on the site for the construction of a primary residential structure or access to the site.  
Grading means soil that is brought onto the site to be used in the construction of the project. This information will be used to calculate the number of truck trips required for the site preparation.

PREPARED BY: W. A. COFFEY  
DATE: 2022-06-28

Page 1 of 1  
[www.malibu.gov/department/planning/grading/grading\\_verification\\_certificate.html](http://www.malibu.gov/department/planning/grading/grading_verification_certificate.html)



GZ 01 4



#### STORMWATER NOTES:

ALL ROOF DOWNSPOUTS SHALL BE DIRECTLY ROUTED TO A NON-ERODIBLE SURFACE, DOWNSPUT DISCHARGE STRUCTURE, THE CLOSEST CATCH BASIN OR DRAINAGE SWALE.  
ALL STORMWATER APPURTENANCES SHALL BE MONITORED BEFORE, DURING AND AFTER EVERY DOWNSPUT TO ENSURE THERE ARE NO BLOCKAGES OF THE STORMWATER CONVEYANCE SYSTEM.  
SYSTEM COMPONENTS AND APPURTENANCES (INCLUDING CLEAN-OUTS) SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT APPLICABLE PLUMBING CODE.

#### RETAINING WALL NOTES:

SITE RETAINING WALLS AND/OR FOUNDATION WALLS ARE BY OTHERS PER SEPARATE PERMIT.  
SUBSISTERS BEHIND ALL WALLS SHALL BE INSTALLED PER THE STRUCTURAL PLAN AND GEOTECHNICAL RECOMMENDATIONS.

ALL WALLS WITH A DROP OFF GREATER THAN 30" OR THE HEIGHT DETERMINED BY THE LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS LESS, SHALL HAVE A RAILING INSTALLED PER THE STRUCTURAL OR ARCHITECT'S PLANS.

#### SOILS ENGINEER NOTES:

THE RECOMMENDED BEARING MATERIAL FOR THE PROPOSED STRUCTURES IS COMPACTED FILL. IN ORDER TO CREATE COMPACTED FILL THE SURFICIAL SOILS SHOULD BE REMOVED AND COMPACTED TO A MINIMUM DEPTH OF 3 FEET BELOW THE BOTTOM OF THE PROPOSED FOUNDATIONS AND EXTEND 5 FEET BEYOND THE PERIMETER OF THE PROPOSED FOUNDATIONS.

THE COMPACTED FILL IN THE AREA OF THE PROPOSED FOUNDATIONS NEAR THE TOP OF THE SLOPE WILL NEED TO EXTEND GREATER THAN 3 FEET BELOW THE BOTTOM OF THE PROPOSED FOUNDATIONS AND GREATER THAN 5 FEET BEYOND THE PERIMETER OF THE PROPOSED FOUNDATIONS IN ORDER TO PROVIDE THE REQUIRED HORIZONTAL SETBACKS TO THE COMPACTED FILL SURFACE.

ALL EXISTING FILL AND INCOMPETENT SURFACE SOILS WITHIN THE AREA TO BE FILLED SHOULD BE REMOVED TO DENSE OLDER ALLUVIUM AND/OR BEDROCK AND REPLACED AS PROPERTY COMPACTED FILL.

YOU MAY CONSIDER CONSTRUCTING THE PROPOSED DRIVEWAY WITH 4 INCHES OF ASPHALT OR CONCRETE OR 3-INCH PAVERS OVER 4 INCHES OF PROCESSED MISCELLANEOUS BASE (PMB). THE UPPER APPROXIMATE 18-INCHES OF THE EARTH MATERIAL (OR ALL LOOSE MATERIAL) BELOW THE PMB SHOULD BE REMOVED AND COMPACTED.

VERTICAL CUTS OF UP TO 5 FEET MAY BE MADE IN THE ON-SITE MATERIAL. EXCAVATIONS GREATER THAN 5 FEET SHOULD BE TRIMMED BACK TO 1:1 (HORIZONTAL TO VERTICAL).

PRIOR TO FINAL APPROVAL OF THE PROJECT, AN AS-BUILT COMPACTION REPORT PREPARED BY THE PROJECT GEOTECHNICAL CONSULTANT MUST BE SUBMITTED TO THE CITY FOR REVIEW. THE REPORT MUST INCLUDE THE RESULTS OF ALL DENSITY TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF DENSITY TESTS, AND LOCATIONS AND ELEVATIONS OF ALL REMOVAL BOTTOMS, LOCATIONS AND ELEVATIONS OF ALL KEYWAYS AND BACK DRAINS, AND LOCATIONS AND ELEVATIONS OF ALL RETAINING WALL BACK DRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

THIS IS NOT AN EXHAUSTIVE LIST OF RECOMMENDATIONS FROM THE SOILS ENGINEER. THE ENTIRE SOILS REPORT SHALL BE REVIEWED BY ALL PARTIES INVOLVED WITH THE GRADING ACTIVITIES AND ALL RECOMMENDATIONS MADE IN THE SOILS REPORT SHALL BE CONSIDERED PART OF THE GRADING AND DRAINAGE PLAN.

#### GENERAL NOTES:

ALL RETAINING WALLS, BASEMENT WALLS, SHORING DESIGN, WATERPROOFING DESIGN AND ALL OTHER DESIGN NOT SPECIFICALLY CALLED OUT ON THIS PLAN ARE BY OTHERS PER SEPARATE PERMIT.

EXPORTED SOIL FROM THE SITE SHALL BE TAKEN TO THE COUNTY LANDFILL OR TO A SITE WITH AN ACTIVE GRADING PERMIT AND THE ABILITY TO ACCEPT THE MATERIAL IN COMPLIANCE WITH THE CITY'S LOCAL IMPLEMENTATION PLAN (LIP), SECTION 6.3.

ABBREVIATION	DESCRIPTION
BCE	BOTTOM OF FOUNDATION ELEVATION
EG	EXISTING GRADE ELEVATION
FF	FINISHED FLOOR ELEVATION
FS	FINISHED GRADE ELEVATION
HP	HIGH POINT ELEVATION
HT	HEIGHT OF WALL FROM FS (DOES NOT INCLUDE HEIGHT OF FOOTING)
INV	INVERT ELEVATION
OC	ON CENTER
SAR	REMOVAL AND RECOMPACTION
SPRWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
TW/TOW	TOP OF WALL ELEVATION
TG	TYPICAL
TSD	TO BE DETERMINED BY CONTRACTOR IN FIELD
WW	WASTEWATER

LINE TYPE	DESCRIPTION
---	PROPERTY LINE
---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS
---	PROPOSED MINOR CONTOURS
---	LIMITS OF DISTURBED SITE AREA
---	FLOW LINES
---	PIPES
---	ROAD CENTERLINE
---	EASEMENT LINE
---	APPROXIMATE SOIL TYPE DELINEATION

APPROXIMATE LIMITS OF R&R - ACTUAL LIMITS TO BE DETERMINED BY IN FIELD SOILS REPRESENTATIVE

#### REVISIONS:

##### REV. BY DATE

1. J. Y. B. 2020-08-04  
2. J. Y. B. 2020-08-04  
3. J. Y. B. 2020-08-04  
4. J. Y. B. 2020-08-04  
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COASTAL DEVELOPMENT PERMIT GRADING AND DRAINAGE PLAN  
FOR APPROVAL ONLY - NOT FOR CONSTRUCTION  
6734 ZUMIREZ DRIVE  
MALIBU, CA



JOB #:

105-16

DATE:

JULY 8, 2020

DRAWN BY:

TJM

CHECKED BY:

TAC

SHEET NUMBER:

G3 OF 4



## REFERENCE NOTES SCHEDULE

## FENCE AND GATE

- |      |                              |
|------|------------------------------|
| F-01 | 6" WROUGHT IRON FENCE        |
| F-02 | AUTOMATED SLIDING ENTRY GATE |
| F-03 | PEDESTRIAN GATE              |

## MISCELLANEOUS

- |      |   |
|------|---|
| M-01 | METAL HEADER  |
| M-02 | FIRE PIT  |
| M-03 | TRASH ENCLOSURE W/ DOUBLE GATES ON CONCRETE SLAB (MAX 6') |
| M-04 | WOOD TRELLIS  |

## PAVING

- |       |                       |
|-------|-----------------------|
| PV-01 | STONE PAVING          |
| PV-02 | COLOR CONCRETE PAVING |
| PV-03 | STONE CURB            |
| PV-04 | GRAVEL PAVING         |

## POOL AND JACUZZI

- |       |                       |
|-------|-----------------------|
| PO-01 | POOL                  |
| PO-02 | JACUZZI @ POOL DECK   |
| PO-03 | JACUZZI @ GUEST HOUSE |

## STAIRS

- S-01 STONE STAIRS
  - S-02 CONCRETE STAIRS







## WALL

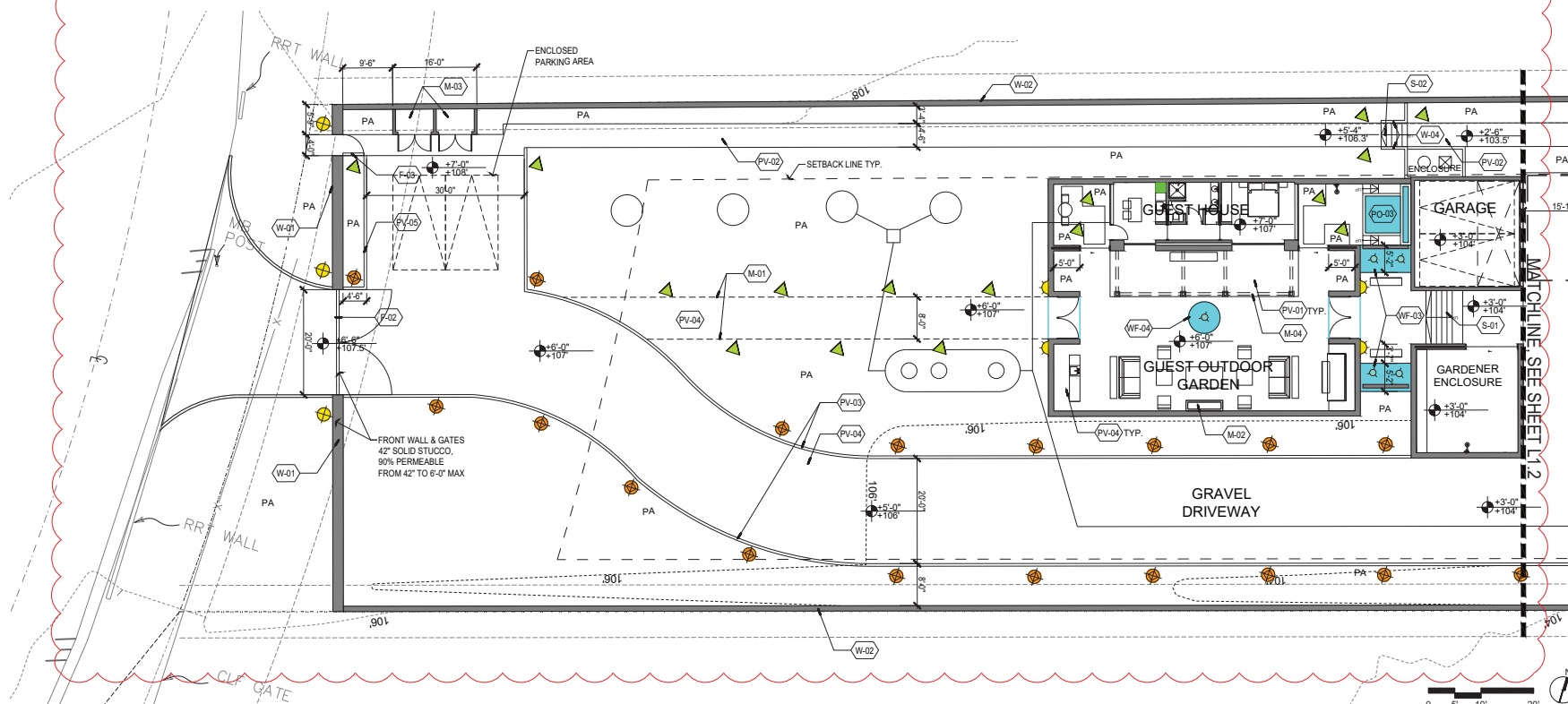
- |      |   |
|------|---|
| W-01 | 6" ENTRY WALL (FRONT WALL & GATES 42" SOLID STUCCO.<br>90% PERMEABLE FROM 42" TO 6'-0" MAX) |
| W-02 | 6" STUCCO WALL  |
| W-03 | PLANTER WALL, MATERIAL TBD.   |
| W-04 | CONCRETE RETAINING WALL   |

## WATER FEATURE

- |       |  |
|-------|--|
| WF-01 | WATER BASIN W/ 6' GARDEN WALL            |
| WF-02 | FLUSH WATER FEATURE @ MAIN HOUSE GARDEN  |
| WF-03 | FLUSH WATER FEATURE @ GUEST HOUSE GARDEN |
| WF-04 | CIRCULAR WATER FEATURE                   |

## LEGEND

SYMBOL	DESCRIPTION
	SMALL WALL SCONCE LIGHT
	WALL MOUNT ENTRY LIGHT
	TREE DOWNLIGHT
	LOW PATHWAY BOLLARD LIGHT
	LOW DRIVEWAY BOLLARD LIGHT
	FOUNTAIN LIGHT



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## PROJECT

**Zumirez**

## PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

## PROJECT NOTES



## REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	CDP SUBMITTAL
3	2020.12.03	FUEL MODIFICATION UPDATES
4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

### DRAWING DESCRIPTION

## LAYOUT & MATERIALS PLAN

## DRAWING NO.

L1.1

PROJECT	30530.00
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PROJECT	00000:00
DATE	MAY 30, 2011

DATE	MAY 20, 2011
SCALE	1"=10'-0"

SCALE	1
DRAWN BY	HS

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## REFERENCE NOTES SCHEDULE

- FENCE AND GATE**
- (F-01) 6' WROUGHT IRON FENCE
  - (F-02) AUTOMATED SLIDING ENTRY GATE
  - (F-03) PEDESTRIAN GATE

- MISCELLANEOUS**
- (M-01) METAL HEADER
  - (M-02) FIRE PIT
  - (M-03) TRASH ENCLOSURE W/ DOUBLE GATES ON CONCRETE SLAB (MAX 6')
  - (M-04) WOOD TRELLIS

- PAVING**
- (PV-01) STONE PAVING
  - (PV-02) COLOR CONCRETE PAVING
  - (PV-03) STONE CURB
  - (PV-04) GRAVEL PAVING

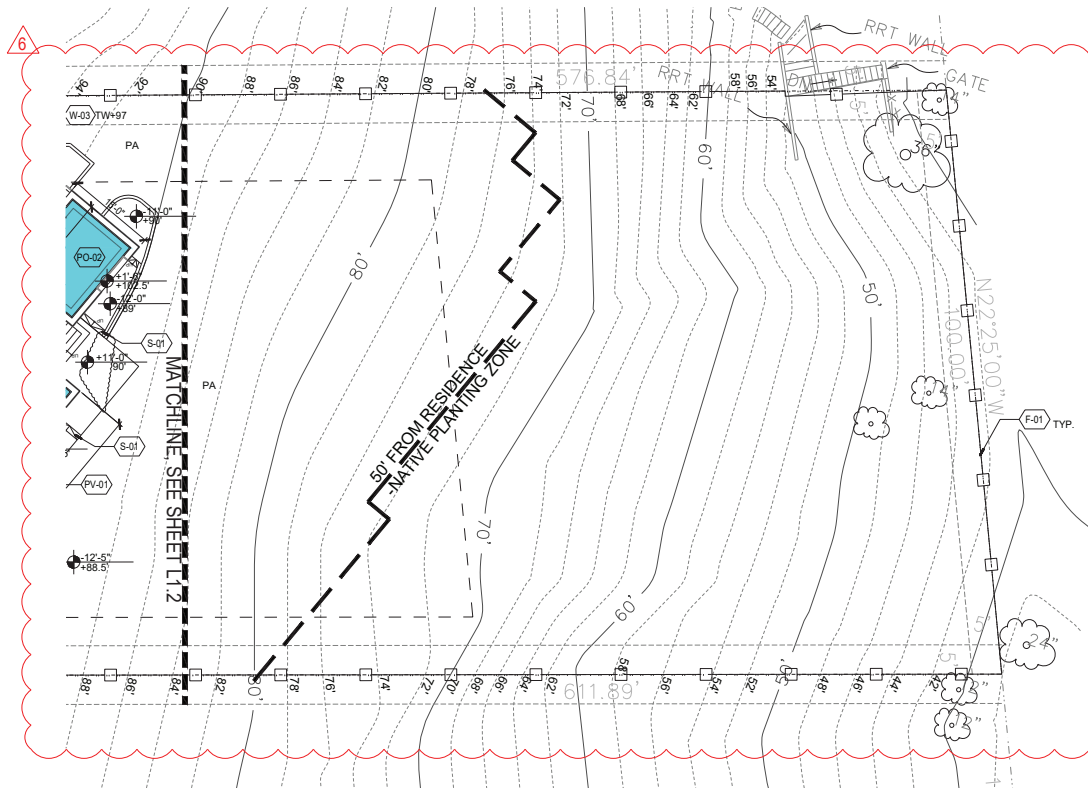
- POOL AND JACUZZI**
- (PO-01) POOL
  - (PO-02) JACUZZI @ POOL DECK
  - (PO-03) JACUZZI @ GUEST HOUSE

- STAIRS**
- (S-01) STONE STAIRS
  - (S-02) CONCRETE STAIRS

- WALL**
- (W-01) 6' ENTRY WALL (FRONT WALL & GATES 42" SOLID STUCCO, 90% PERMEABLE FROM 42" TO 6'-0" MAX)
  - (W-02) 6' STUCCO WALL
  - (W-03) PLANTER WALL, MATERIAL TBD.
  - (W-04) CONCRETE RETAINING WALL

- WATER FEATURE**
- (WF-01) WATER BASIN W/ 6' GARDEN WALL
  - (WF-02) FLUSH WATER FEATURE @ MAIN HOUSE GARDEN
  - (WF-03) FLUSH WATER FEATURE @ GUEST HOUSE GARDEN
  - (WF-04) CIRCULAR WATER FEATURE

LEGEND	
SYMBOL	DESCRIPTION
	SMALL WALL SCONCE LIGHT
	WALL MOUNT ENTRY LIGHT
	TREE DOWNLIGHT
	LOW PATHWAY BOLLARD LIGHT
	LOW DRIVEWAY BOLLARD LIGHT
	FOUNTAIN LIGHT



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### PROJECT

**Zumirez**

### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

### PROJECT NOTES



### REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	COP SUBMITTAL
3	2020.12.03	FUEL MODIFICATION UPDATE
4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

### DRAWING DESCRIPTION

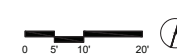
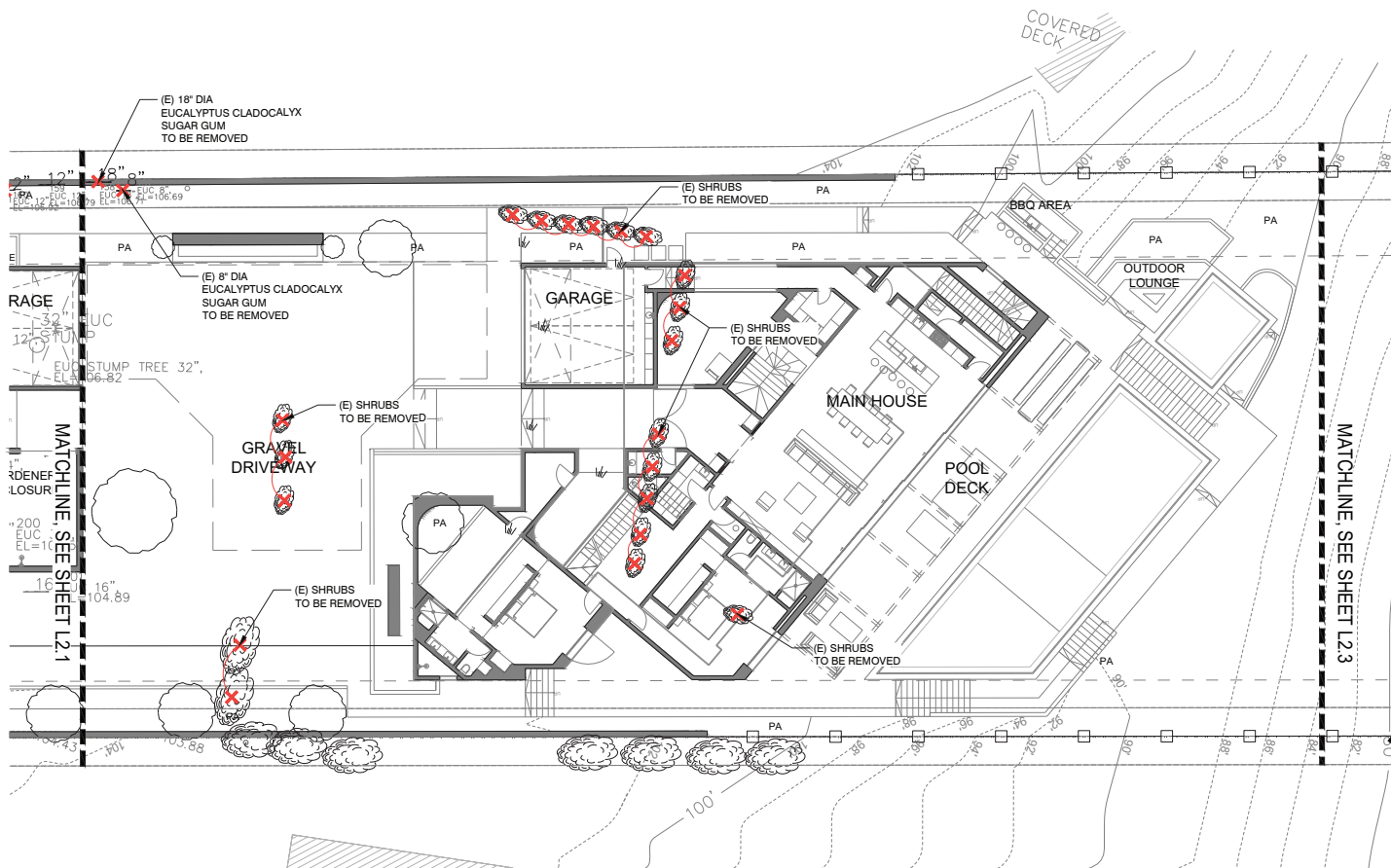
LAYOUT & MATERIALS PLAN

### DRAWING NO.

**L1.3**

PROJECT 30530.00  
DATE MAY 20, 2021  
SCALE 1"=10'-0"  
DRAWN BY HS





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PROJECT

**Zumirez**

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES

FOR CONSTRUCTION

REVISION SCHEDULE

NO. DATE ISSUE

1 2020.08.14 OWNER CHANGES

2 2020.11.03 CDP SUBMITTAL

3 2020.12.03 FUEL MODIFICATION UPDATE

4 2021.03.29 BIOLOGY REVIEW REVISION

5 2021.04.23 BIOLOGY REVIEW REVISION

6 2021.05.20 BIOLOGY REVIEW REVISION

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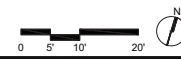
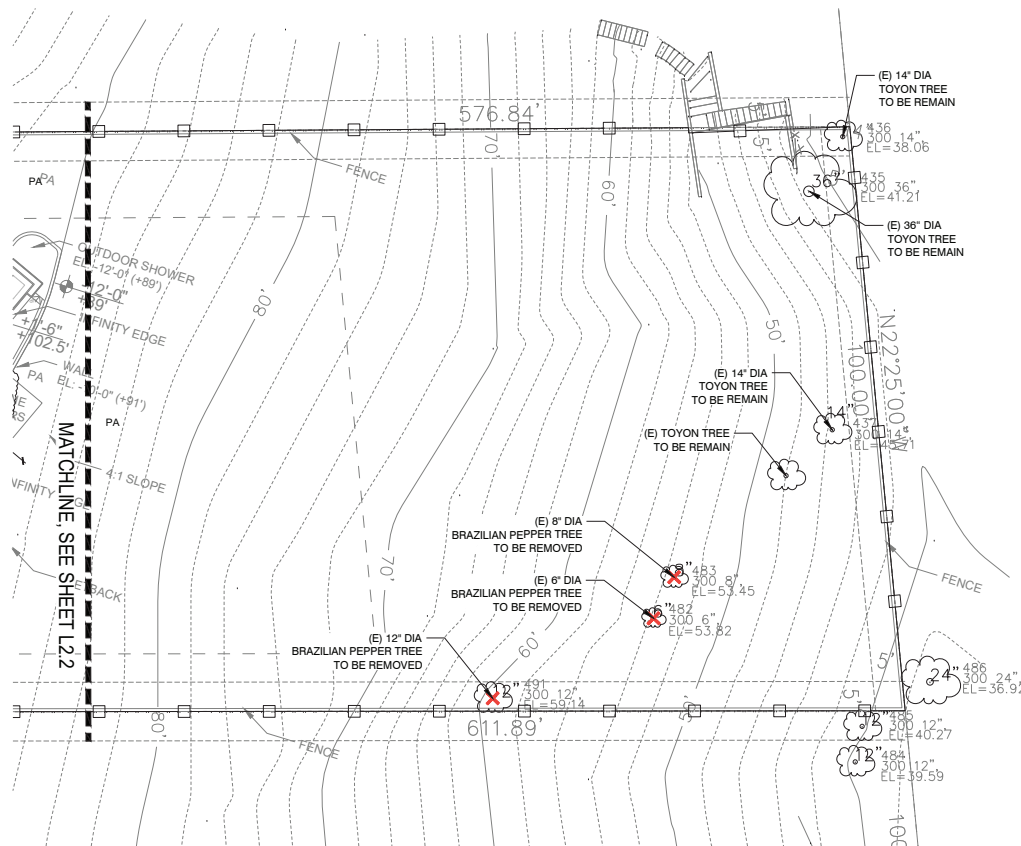
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PROJECT

**Zumirez**

PROJECT ADDRESS  
6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES



REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	CDP SUBMITTAL
3	2020.12.03	FUEL MODIFICATION UPDATE
4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

DRAWING DESCRIPTION

EXISTING TREE & SHRUB PROTECTION PLAN

DRAWING NO.

**L2.3**

PROJECT

30530.00

DATE

MAY 20, 2021

SCALE

1"=10'-0"

DRAWN BY

HS



CITY OF MALIBU  
**MALIBU REBUILDS**

The City is encouraging residents to replace their fire damaged landscapes with native plants which help to rebuild lost habitat. The list below contains commonly planted native species recommended by the [Malibu Monarch Project](#) that can be used to create pollinator gardens to support monarch butterflies. A more comprehensive list of species appropriate for the Santa Monica Mountains can be found here ([MalibuCity.org/NativePlants](#)).

Please note that the planting of trees, shrubs and hedges that have the potential to grow over six feet in height requires approval from City Planning staff. If you are replacing Woolsey Fire damaged or destroyed vegetation, Planning staff can assist you by processing an expedited Planning Verification approval. Visit the Fire Rebuild table at City Hall for more information.

Heart-leaved Penstemon LPS, Mar-Aug

### Trees

**Trees**  
Bigleaf Maple  
Toyon  
California Sycamore (moderate to high water needs)  
Coast Live Oak  
California Bay (moderate to high water needs)  
Valley Oak

**Shrub**

**Shrubs**  
 Greenbark Ceanothus L.F.S-Ps, Feb-May  
 Big Berry Manzanita L.F.S, Dec-Mar  
 Quail Bush L.F.S, NA  
 Mule Fat M.F.S, Ap-Oct  
 Frickelbush L.F.S, Aug-Oct  
 Mountain Mahogany L.F.S, Mar-May  
 Sycamore Redheart L.F.S, Jun-Dec  
 Silktassel Bush L.F.S, Dec-Mar  
 Goldenbush L.F.S, Jul-Oct  
 Bush Monkeyflower L.P.S, Mar-Jul  
 Holly Leaf Cherry L.F.S-Ps, Ap-May  
 California Coffeeberry L.M.F.S-S, May-Jun  
 Lemonade berry L.F.S-Ps Feb-Apr  
 Sugarbush L.F.S-Ps Feb-Apr  
 Golden Currant, L-M-S-Ps, Feb-Apr  
 Fuchsia-flowering  
 Cosequely L.F.S-S, Jan-May  
 White Sage L.F.S, Ap-Jul  
 Purple Sage L.F.S, May-Jul  
 Black Sage L.F.S, Ap-Jul  
 Snowberry L.M.F.S-Ps, Ap-May

**Annuals (from seed)**

Owl's Clover  
 Chinese Houses  
 Farewell to Spring  
 Elegant Clarkia  
 California Poppy  
 Tidy Tips  
 Globe Gilia  
 Parry's Phacelia  
 Wild Canterbury E

### Vines

Virgin's Bower  
Wild Sweet Pea  
California Honey-suckle  
Wild Grape  
Morning Glory

### Perennial Grasse

Deer Grass  
Purple Needlegrass  
California Fescue  
June Grass  
Creeping Wild Rye

### Perennials














Yarrow M, FS-PS, Mar-June  
Narrow Leaf Milkweed L-M, FS, Jun-Sept  
California Fuchsia L, FS, Jul-Nov  
Conejo Buckwheat L, FS-PS, Apr-July  
California Buckwheat L, FS, Apr-July  
Golden Yarrow L, PS, May-Aug  
California everlasting L FS-PS, Jan-Jul

Water needs: L(low)  
Full Sun: FS  
Shade: S  
Part Shade: PS  
Bloom Time

**Keywords:** child abuse; child sexual abuse; child sexual exploitation; child sexual abuse material













#### PLANT SCHEDULE SHRUB & GC

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	AGA ATT	Agave attenuata	Footfall Agave	5 gal	
	AGA DW2	Agave desertiana	Dwarf Century Plant	5 gal.	
	AGA WE3	Agave tequilana 'Weber Azul'	Weber's Blue Agave	5 gal.	
	ARC HOW	Arctostaphylos densiflora 'Howard McMin'	Howard McMin Manzanita	5 gal	
	CAR CAL	Carpenteria californica	Bush Anemone	5 gal.	
	CEA JOY	Ceanothus x 'Joyce Coulter'	Joyce Coulter Wild Lilac	5 gal.	
	CYC REV	Cycas revoluta	Sago Palm	15 gal	
	LAV HD	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	5 gal	
	MAH AQU	Mahonia aquilum	Oregon Grape	5 gal.	
	MIM LON	Mimulus longiflorus	Bush Monkey Flower	5 gal	Native
	MTR CAL	Myrica californica	Pacific Wax Myrtle	15 gal	
	PH XXA	Philodendron x 'Xanadu'	Xanadu Philodendron	1 gal.	
	PHO SUD	Phormium x 'Sunderner'	Sunderner New Zealand Flax	5 gal.	
	RHA CAL	Rhamnus californica	California Coffee Berry	5 gal	Native
	RHU INT	Rhus integrifolia	Lemonade Berry	15 gal.	Native
	RHU OVA	Rhus ovata	Sugar Bush	15 gal.	Native
	RIB GOL	Ribes aureum	Golden Currant	5 gal	Native
	ROS COL	Rosmarinus officinalis 'Cottlingwood Ingram'	Rosemary	5 gal	
	SAL PUS	Salvia leucophylla	Purple Leaf Sage	5 gal	Native
	SYM ALB	Symphoricarpos albus	Common White Snowberry	---	Native
	ZAU CA9	Zauschneria californica	California Fuchsia	5 gal	Native
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	ACH ISL	Achillea millefolium 'Island Pink'	Common Yarrow	flat	Native
	ACM DEE	Acmispon glaber	Deerweed	1 gal	Native
	ARC MAN	Arctostaphylos x 'Emerald Carpet'	Emerald Carpet Manzanita	1 gal.	
	CAR TUM	Carex tumulicola	Berkeley Sedge	1 gal	
	DUD CYM	Dudleya cymosa	Canyon Liveforever	1 gal	Native
	FES OVI	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal.	
	HEU MA2	Heuchera maxima	Island Alum Root	1 gal.	
	KOL MAC	Koeleria macrantha	Prairie Junegrass	1 gal	Native
	MUH RIG	Muhlenbergia rigens	Deer Grass	1 gal.	Native
	SAL SPA	Salvia spathacea	Hummingbird Sage	1 gal	Native
	SEN MAN	Senecio mandralicæ	Blue Finger	1 gal.	

Planting Legend:

## PLANT SCHEDULE TREE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	ACE PAL	<i>Acer palmatum</i>	Japanese Maple	36"box	
	ALO THR	<i>Thuja thaiskii</i>	Dune Aloe	24" box	
	CER WES	<i>Cercis occidentalis</i>	Western Redbud Multi-trunk	36"box	
	CIT MES	<i>Citrus x meyeri</i>	Meyer Lemon	36"box	
	HET ARB	<i>Hedera arborea</i>	Toyon	24" box	Native
	OLE EUR	<i>Olea europaea</i> "Swan Hill"	Swan Hill Ancient Olive		Frutless
	OLE SWA	<i>Olea europaea</i> "Swan Hill"	Swan Hill Olive	48"box	Frutless
	QUE MUL	<i>Quercus agrifolia</i>	Coast Live Oak Multi-Trunk	60"	Native
	QUE SUB	<i>Quercus suber</i>	Cork Oak	24" box	
	UMB CAL	<i>Umbellularia californica</i>	Bay Laurel	48"	Native

Note: Plant selection & plant information per county of Los Angeles  
Fire Department Fuel Modification Plant List and  
Santa Monica Mountains Native Plant List.



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## PROJECT

**Zumirez**

## PROJECT ADDRESS

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## PROJECT NOTES



### REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	CDP SUBMITTAL
3	2020.12.03	FUEL MODIFICATION UPDATES
4	2021.03.29	BIOLOGY REVIEW REVISIONS
5	2021.04.23	BIOLOGY REVIEW REVISIONS
6	2021.05.20	BIOLOGY REVIEW REVISIONS

**DRAWING DESCRIPTION**

### PLANTING LEGEND AND NOTES

DRAWING NO.

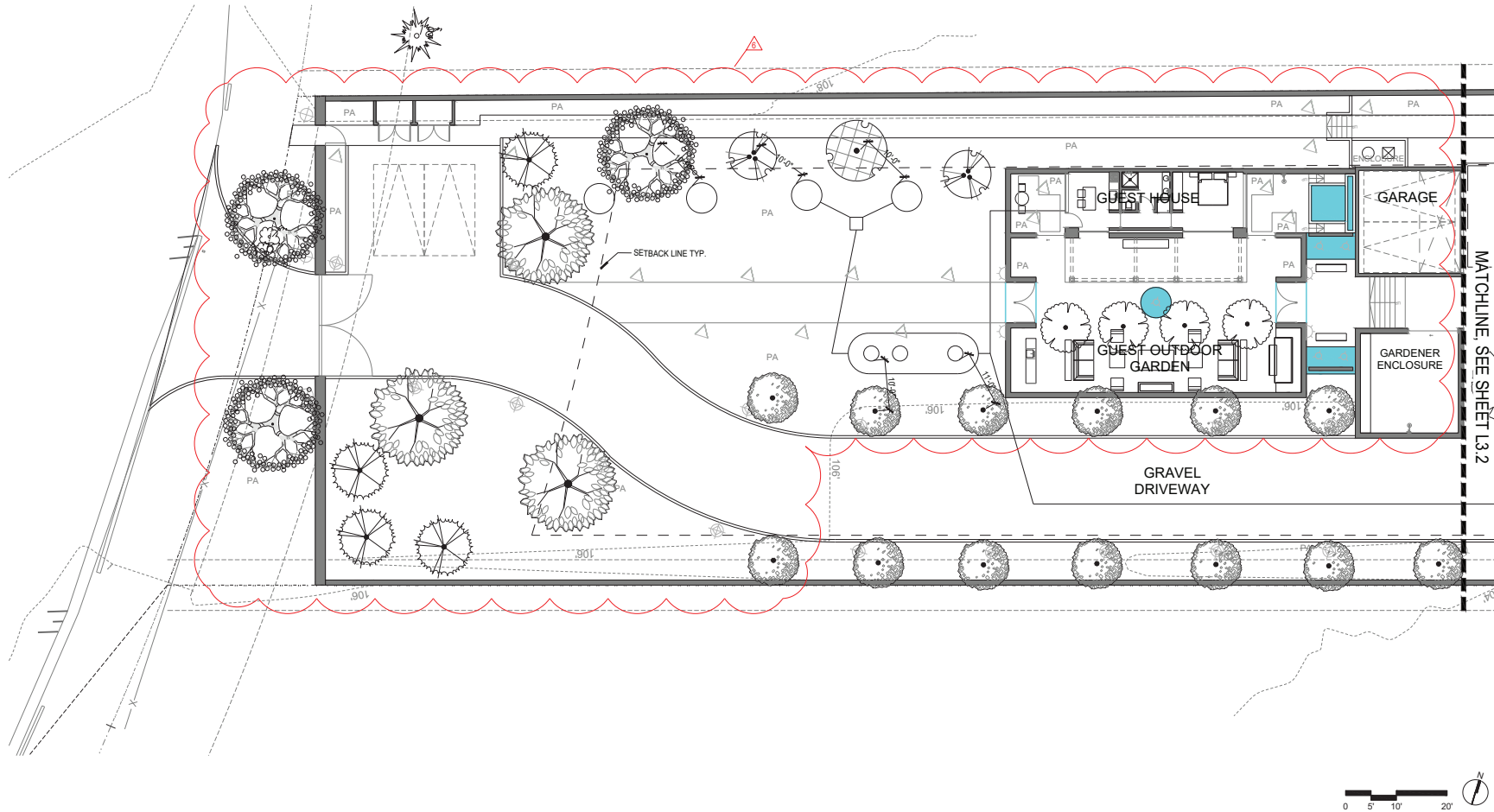
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PROJECT	30530.00
DATE	MAY 20, 2021
SCALE	1"=10'-0"
DRAWN BY	HS

PLANT SCHEDULE L3.1						
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	CER WES	<i>Cercis occidentalis</i>	Western Redbud Multi-trunk	36" box	2	
	CIT MES	<i>Citrus x meyeri</i>	Meyer Lemon	36" box	1	
	HET ARB	<i>Heteromeles arbutifolia</i>	Tayon	24" box	4	Native
	OLE SWA	<i>Olea europaea 'Swan Hill'</i>	Swan Hill Olive	48" box	13	Frutless
	QUE MUL	<i>Quercus agrifolia</i>	Coast Live Oak Multi-Trunk	60"	3	Native
	QUE SUB	<i>Quercus suber</i>	Cork Oak	24" box	4	
	UMB CAL	<i>Umbellularia californica</i>	Bay Laurel	48"	3	Native

**NOTE:**

1. ALL PLANTS GREATER THAN 50' FROM THE PRIMARY RESIDENCE ARE SANTA MONICA MOUNTAINS NATIVE PLANTS.
2. RELOCATE SEEPAGE PITS 10' AWAY FROM PROPOSED TREES



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**PROJECT**

**Zumirez**

**PROJECT ADDRESS**

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**PROJECT NOTES**



**REVISION SCHEDULE**

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1	2020.08.14	OWNER CHANGES
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4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

**DRAWING DESCRIPTION**

TREE PLANTING PLAN

**DRAWING NO.**

**L3.1**

**PROJECT**

30530.00

**DATE**





MAY 20, 2021

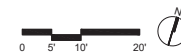
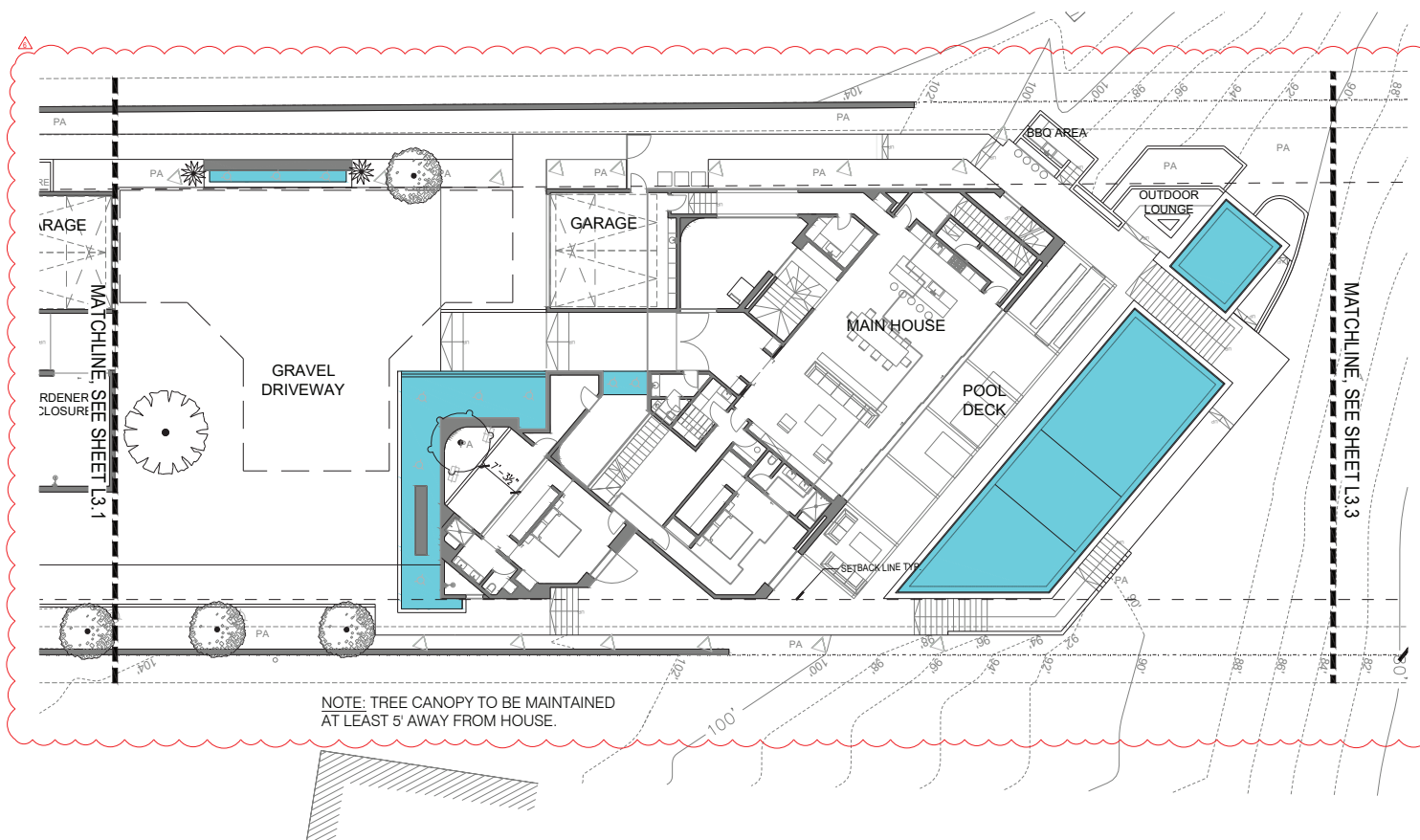
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PLANT SCHEDULE L3.2						
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	ACE PAL	Acer palmatum	Japanese Maple	30"box	1	
	ALO THR	Aloe thrasali	Dune Aloe	24" box	2	
	OLE EUR	Olea europaea 'Swan Hill'	Swan Hill Ancient Olive	Ancient Specimen	1	Fruitless
	OLE SWA	Olea europaea 'Swan Hill'	Swan Hill Olive	48"box	3	Fruitless



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PROJECT NOTES



REVISION SCHEDULE

NO.	DATE	ISSUE
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5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

DRAWING DESCRIPTION

TREE PLANTING PLAN

DRAWING NO.

**L3.2**

PROJECT

30530.00

DATE

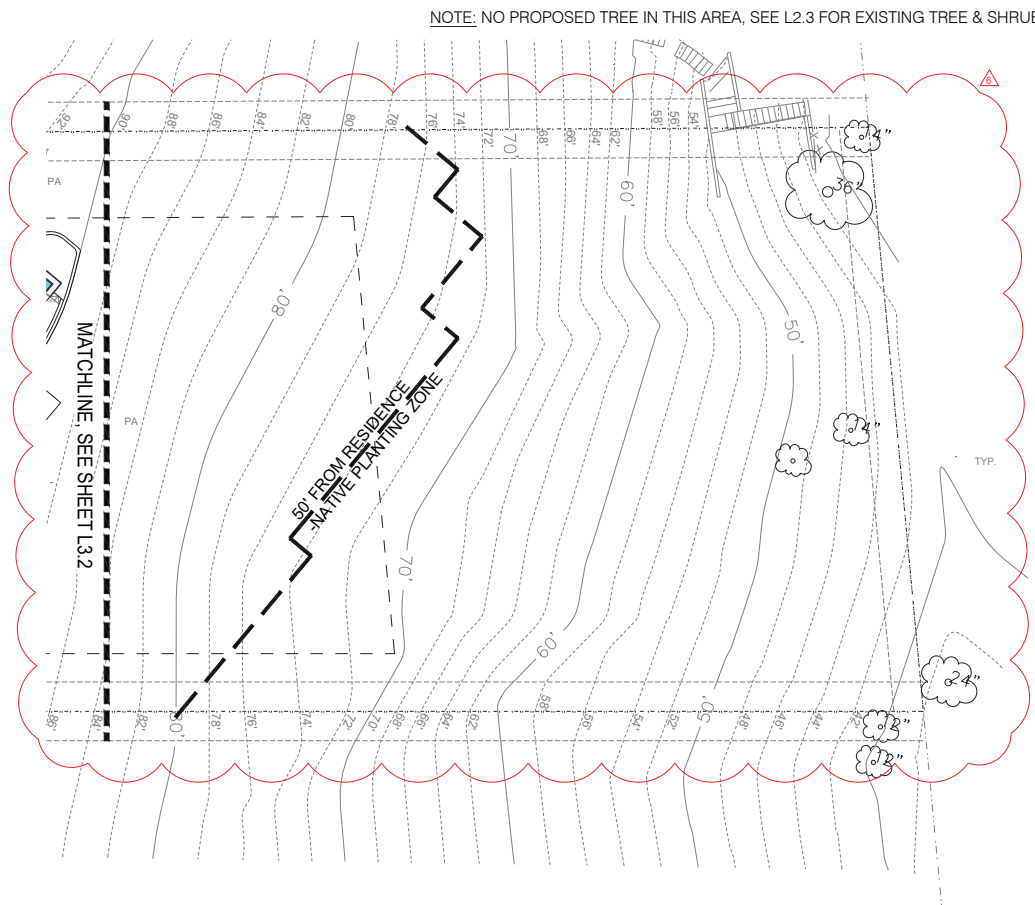
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**Zumirez**

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**PROJECT NOTES**



**REVISION SCHEDULE**

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
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4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

**DRAWING DESCRIPTION**

TREE PLANTING PLAN

**DRAWING NO.**

**L3.3**

**PROJECT**

30530.00

**DATE**

MAY 20, 2021

**SCALE**

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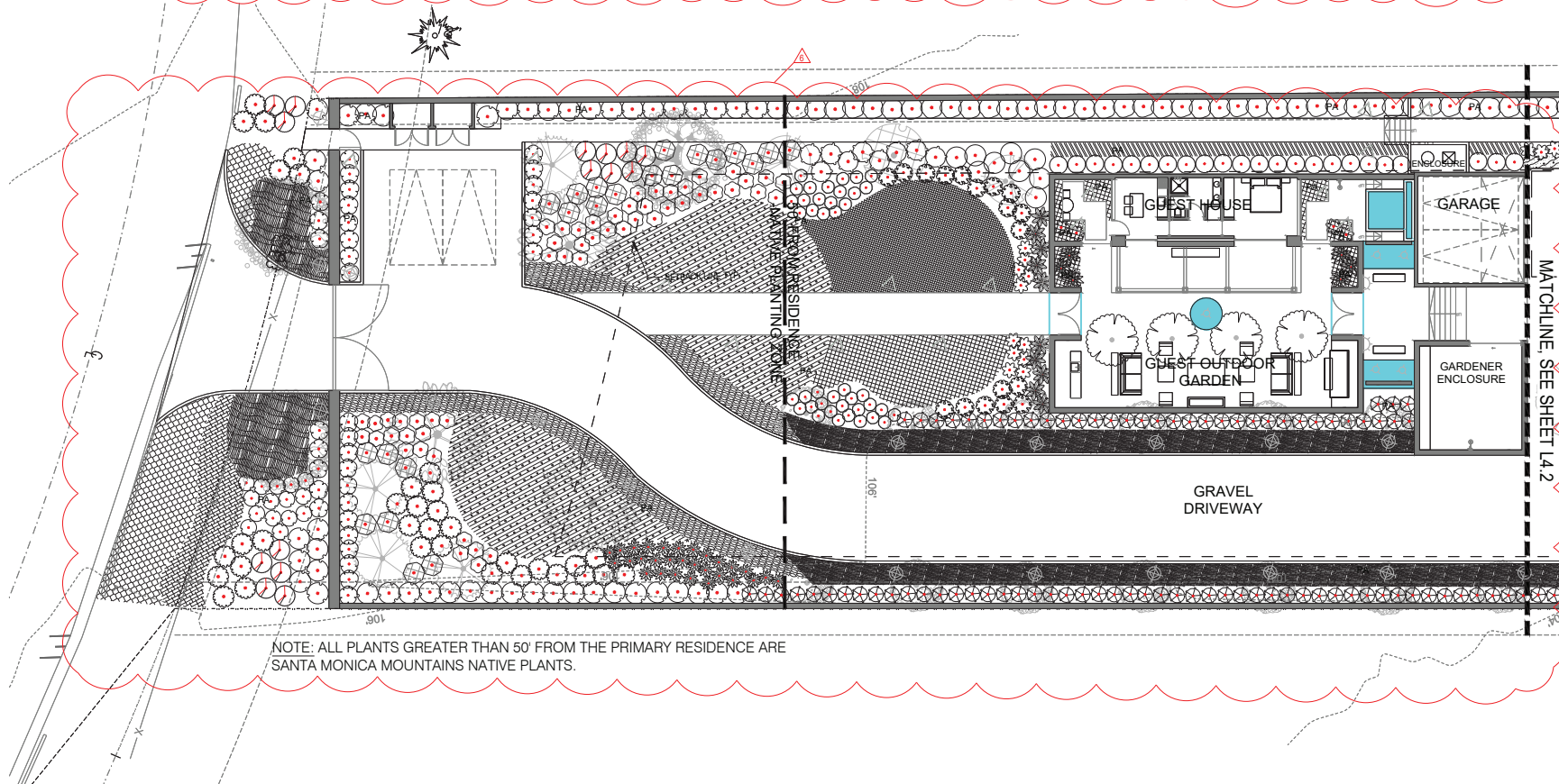
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PLANT SCHEDULE L4.1						
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	AGA ATT	Agave attenuata	Forked Agave	5 gal	14	
	ARC HDW	Arctostaphylos densiflora 'Howard McMini'	Howard McMini Manzanita	5 gal	17	
	CAR CAL	Carpenteria californica	Bush Anemone	5 gal	9	
	CEA JOY	Ceanothus x 'Joyce Coulter'	Joyce Coulter Wild Lilac	5 gal	9	
	CYC REV	Cycas revoluta	Sago Palm	15 gal	6	
	LAV HD	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	5 gal	41	
	MAH AQU	Mañonia aquifolium	Oregon Grape	5 gal	24	
	MM LON	Mimulus longiflorus	Bush Monkey Flower	5 gal	15	Native
	MYR CAL	Myrica californica	Pacific Wax Myrtle	15 gal	38	

	PHO SUD	Phorium x 'Sundowner'	Sundowner New Zealand Flax	5 gal	10	
	RHA CAL	Rhamnus californica	California Coffee Berry	5 gal	35	Native
	RHU INT	Rhus integrifolia	Lemonade Berry	15 gal	47	Native
	RHU OVA	Rhus ovata	Sugar Bush	15 gal	15	Native
	RIB GOL	Ribes aureum	Golden Currant	5 gal	53	Native
	ROS COL	Rosmarinus officinalis 'Cottlingwood Ingram'	Rosemary	5 gal	86	
	SAL PUR	Salvia leucophylla	Purple Leaf Sage	5 gal	34	Native
	SYM ALB	Symphoricarpos albus	Common White Snowberry	—	22	Native
	ZAU CA9	Zauschneria californica	California Fuchsia	5 gal	29	Native

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	ACH ISL	Achillea millefolium 'Island Pink'	Common Yarrow	flat	951 sf	Native
	ACM DEE	Acmispon glaber	Deerweed	1 gal	513 sf	Native
	ARC MAN	Arctostaphylos x 'Emerald Carpet'	Emerald Carpet Manzanita	1 gal	132	
	CAR TUR	Carex tumulosa	Berkeley Sedge	1 gal	420	
	QUID CYM	Quileya cymosa	Canyon Liveforever	1 gal	585 sf	Native
	FES OVI	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal	41	
	HEI MA2	Heuchera maxima	Island Alum Root	1 gal	228	
	HCIL MAC	Koeleria macrantha	Prairie Junegrass	1 gal	277 sf	Native
	MUH RIG	Muhlenbergia rigens	Deer Grass	1 gal	470	Native
	SAL SPA	Salvia spathacea	Hummingbird Sage	1 gal	1,238 sf	Native



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PROJECT

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PROJECT NOTES



REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	CDP SUBMITTAL
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4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

DRAWING DESCRIPTION

SHRUB PLANTING PLAN

DRAWING NO.

**L4.1**

PROJECT

30530.00

DATE

MAY 20, 2021

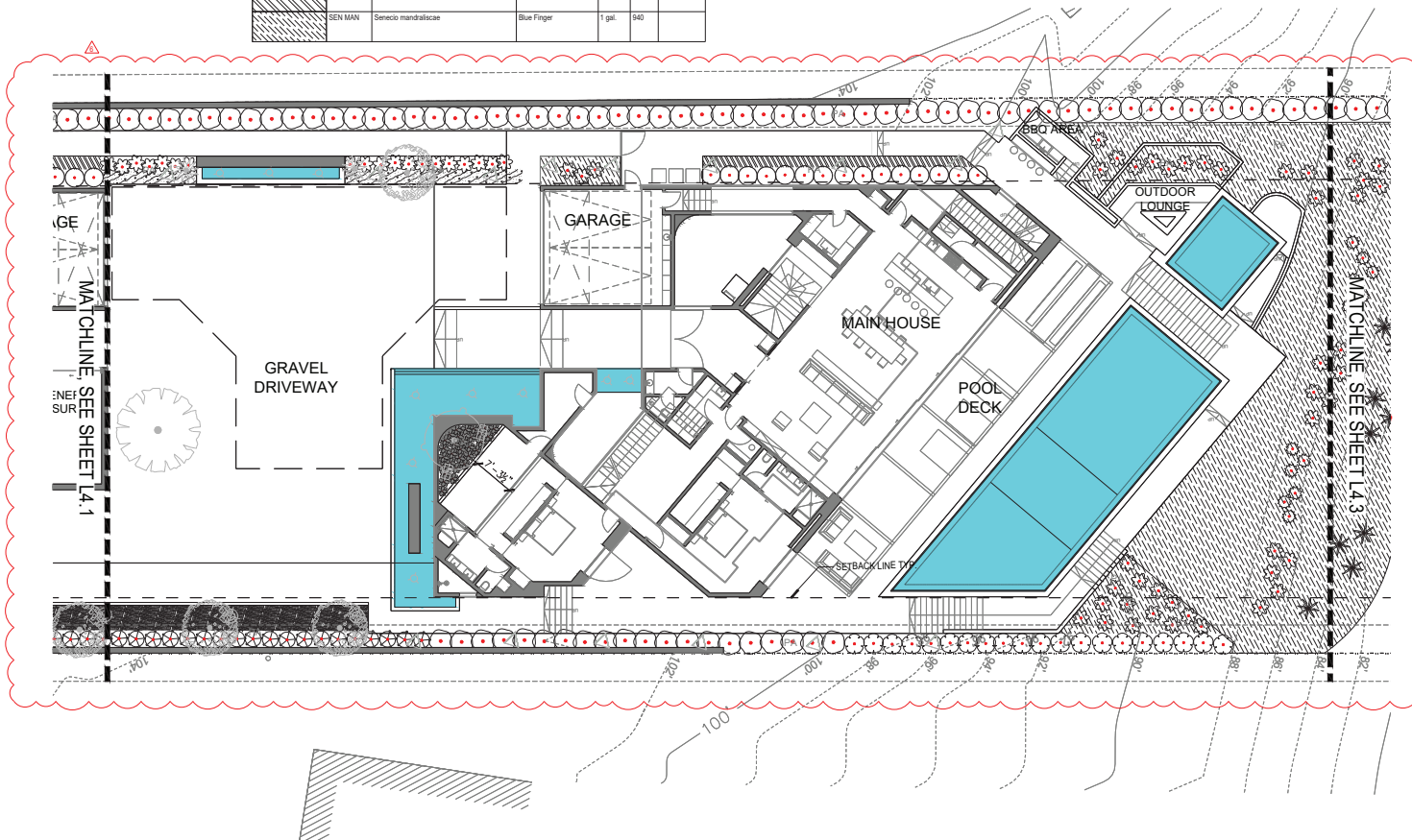
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SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	AGA ATT	Agave attenuata	Fossil Agave	5 gal	37	
	AGA DW2	Agave desertiana	Dwarf Century Plant	5 gal	8	
	AGA WE3	Agave tequilana 'Weber Azul'	Weber's Blue Agave	5 gal	1	
	MAHAQU	Mahonia aquifolium	Oregon Grape	5 gal	15	
	MYR CAL	Myrica californica	Pacific Wax Myrtle	15 gal	80	
	PHI XVA	Philodendron x 'Xanadu'	Xanadu Philodendron	1 gal	30	
	RHA CAL	Rhamnus californica	California Coffee Berry	5 gal	20	Native
	ROS COL	Rosmarinus officinalis 'Collingwood Ingram'	Rosemary	5 gal	19	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	FES OV1	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal	78	
	HEU MA2	Heuchera maxima	Island Alum Root	1 gal	95	
	SEN MAN	Sarcocolla	Blue Finger	1 gal	940	



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# PROJECT

**Zumirez**

## PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

## PROJECT NOTES



## REVISION SCHEDULE

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES
2	2020.11.03	CDP SUBMITTAL
3	2020.12.03	FUEL MODIFICATION UPDATE
4	2021.03.29	BIOLOGY REVIEW REVISION
5	2021.04.23	BIOLOGY REVIEW REVISION
6	2021.05.20	BIOLOGY REVIEW REVISION

## DRAWING DESCRIPTION

SHRUB PLANTING PLAN

## DRAWING NO.

**L4.2**

## PROJECT

30530.00

## DATE

MAY 20, 2021

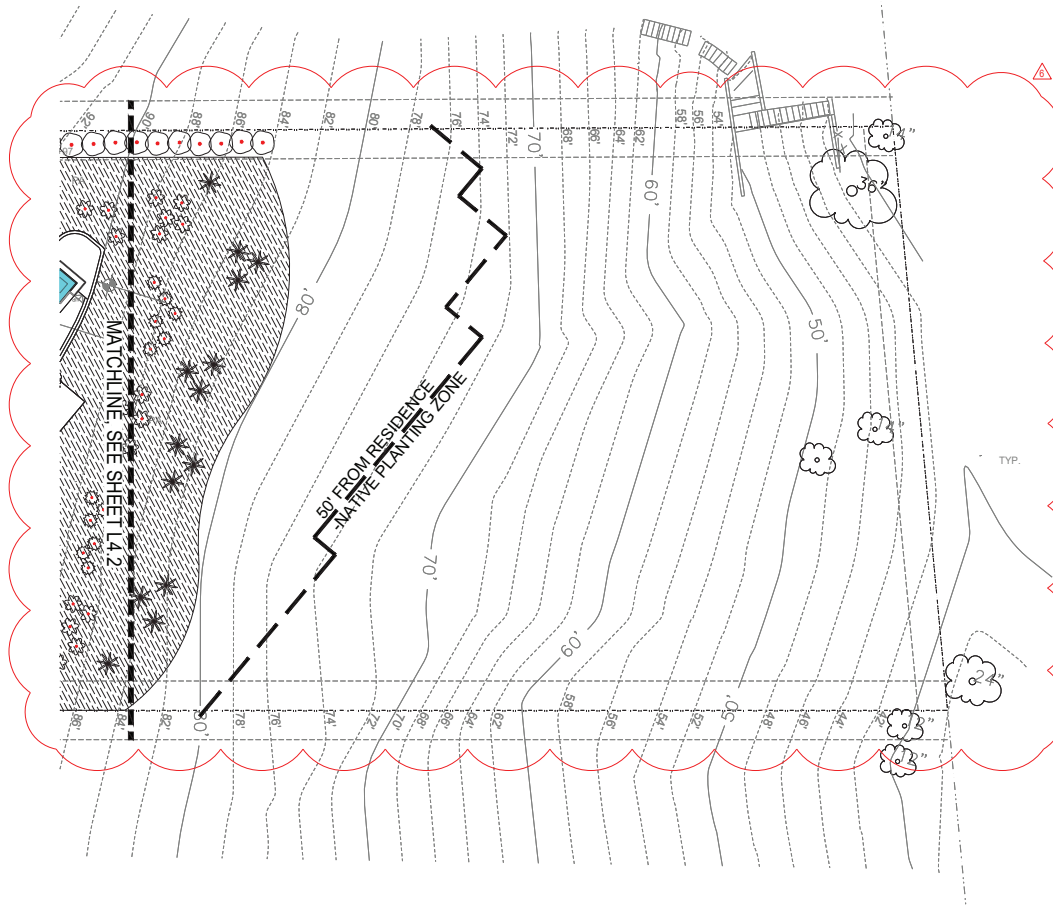
## SCALE

1"=10'-0"

## DRAWN BY

HS

PLANT SCHEDULE L4.3					
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AGA ATT	Agave attenuata	Fountain Agave	5 gal	7
	AGA DW2	Agave desertiana	Dwarf Century Plant	5 gal	6
	AGA WE3	Agave lequiana 'Weber Azul'	Weber's Blue Agave	5 gal	13
	MYR CAL	Myrica californica	Pacific Wax Myrtle	15 gal	7



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#### DRAWING DESCRIPTION

SHRUB PLANTING PLAN

#### DRAWING NO.

**L4.3**

PROJECT 30530.00

DATE MAY 20, 2021

SCALE 1"=10'-0"

DRAWN BY HS

## Fuel Modification Plan Notes

### Zone A – Setback Zone

- Extends 30 feet beyond the edge of any combustible structure, accessory structure, appendage or projection. Overhangs or parts of structures not accurately reflected on the plans may negate the approval of plant location on the approved plan.
- Irrigation by automatic or manual systems shall be provided to maintain healthy vegetation and fire resistance.
- Vegetation in this zone shall consist primarily of green lawns, ground covers not exceeding 6 inches in height, and adequately spaced shrubs. The overall landscape characteristics shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly fire resistant and appropriately spaced. Species selection should reference the Fuel Modification Plant List. Other species may be used subject to approval. Plans re-submitted 6 months after the initial review will be evaluated based on the current Fuel Modification Plant List, available from the Fuel Modification Unit.
- Trees are generally not recommended, except for dwarf varieties or mature trees small in stature.
- Target species will typically not be allowed within 30 feet of combustible structures and may require removal if existing.
- Vines and climbing plants shall not be allowed on any combustible structure requiring review.

### Zone B – Irrigated Zone

- Extends from the outer edge of Zone A to 100 feet from structures.
- Irrigation by automatic or manual systems shall be provided to maintain healthy vegetation and fire resistance.
- Vegetation in this zone shall primarily consist of green lawns, ground covers, and adequately spaced shrubs and trees.
- Unless otherwise approved, ground covers shall be maintained at a height not to exceed 6 inches. On slopes, 12 inches is acceptable within 50 feet of a structure, and 18 inches beyond 50 feet. The overall landscape characteristics shall provide adequate defensible space in a fire environment. Specimen native plants may be approved to remain if properly maintained for adequate defensible space. Annual grasses or weeds shall be maintained at a height not to exceed 3 inches.
- Plants shall be fire resistant and appropriately spaced. Plant selection should reference the Fuel Modification Plant List. Other plants may be used subject to approval.
- Replacement planting to meet minimum City or County slope coverage requirements or ordinances will be considered. In all cases, the overall landscape characteristics shall provide adequate defensible space in a fire environment.
- Target species may require removal within 50 feet of structures, depending on site conditions.
- All trees, unless otherwise approved, shall be planted far enough from structures and Fire access roads, as to not overhang any structure or access at maturity.

### Zone C – Native Brush Thinning Zone

- Extends from the outer edge of Zone B up to 200 feet from structures or to the property line.
- Required thinning and clearance will be determined upon inspection.
- Irrigation systems are not required.
- Vegetation may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. Replacement planting to meet minimum City or County slope coverage requirements or ordinances will be considered. In all cases, the overall landscape characteristics shall provide adequate defensible space in a fire environment.
- Plants shall be spaced appropriately. Existing native vegetation shall be modified by thinning and removal of plants constituting a fire risk; these include, but are not limited to: chamise, sage, sage brush, and buckwheat.
- Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- General spacing for existing native shrubs or groups of shrubs is 15 feet between canopies. Native plants may be thinned by reduced amounts as the distance from development increases.
- General spacing for existing native trees or groups of trees is 30 feet between canopies. This distance may vary depending on the slope, arrangement of trees in relation to slope, and the tree species.

### Fire Access Road Zone

- Extends a minimum of 10 feet from the edge of any public or private road used by fire-fighting resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 325.10) Additional clearance beyond 10 feet may be required upon inspection.
- Fire access roads, driveways and turnarounds shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance clear to the sky for a width of 20 feet. (Fire Code 503.2.1)
- Remaining plants shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.
- All trees, unless otherwise approved, shall be planted far enough from structures and Fire access roads, as to not overhang any structure or access at maturity.

### Maintenance

Routine maintenance shall be regularly performed in all zones. Requirements include items in the Fuel Modification Guidelines and those outlined below:

- Removal or thinning of undesirable combustible vegetation and removal of dead or dying plants to meet minimum brush clearance requirements.
- Pruning and thinning to reduce the overall fuel load and continuity of fuels.
- Fuel loads shall be reduced by pruning lower branches of trees and tree-form shrubs to 1/3 of their height, or 6 feet from lowest hanging branches to the ground, to help prevent fire from spreading and make maintenance easier. Trees with understory plants should be limbed up at least three times the height of the underlying vegetation or up to one third the height of the tree, whichever is less, to help prevent fire from spreading upward into the crown.
- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by maintenance should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 6 inches.
- All invasive species and their parts should be removed from the site.
- Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of grasses and fine fuels, between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel Modification Plan may occur at any time of year.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will incur a plan review fee.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.

Approval of this Fuel Modification Plan constitutes approval for only those Codes reviewed as part of the Fuel Modification process and does not replace the needed approval of any other office or agency with jurisdiction and review responsibility for those items which may or may not be illustrated on the plan.



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#### PROJECT

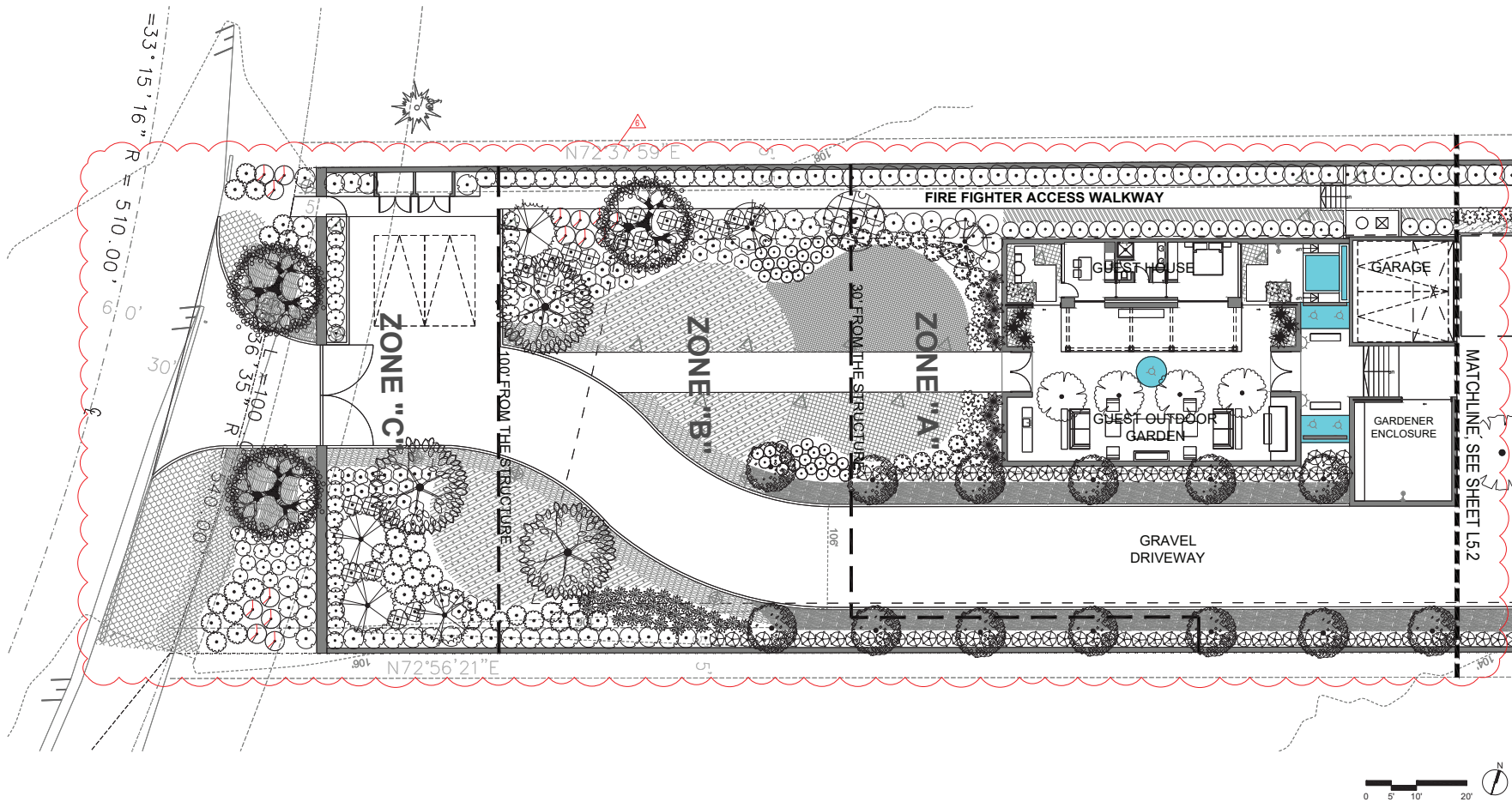
**Zumirez**

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT NOTES





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#### PROJECT

**Zumirez**

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#### PROJECT NOTES



#### REVISIONS

NO.	DATE	ISSUE
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#### DRAWING DESCRIPTION

FUEL MODIFICATION PLAN

#### DRAWING NO.

**L5.1**

PROJECT 30530.00

DATE MAY 20, 2021

SCALE 1"=10'-0"

DRAWN BY HS



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**Zumirez**

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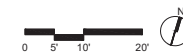
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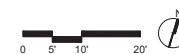
FUEL MODIFICATION PLAN

DRAWING NO.

## L5.2

PROJECT	30530.00
DATE	MAY 20, 2021
SCALE	1"=10'-0"
DRAWN BY	HS









NOTE 1:  
EMITTERS, BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN PAVING AND BUILDING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. EMITTERS AND BUBBLERS SHALL BE ALIGNED WITH SHRUBS AND TREES AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

NOTE 2:  
MAINLINE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

NOTE 3:  
ALL PIPING AND WIRE SHALL BE SLEEVED UNDER PAVING. ALL SLEEVES TO BE MINIMUM 2X DIAMETER OF PIPE OR WIRE DIAMETER INSIDE. WIRES SHALL BE INSTALLED IN SLEEVE SEPARATE FROM PIPE SLEEVE. ALL MAINLINE SHALL BE ACCOMPANIED WITH A MINIMUM 1-1/4 INCH DIAMETER WIRE SLEEVE. SLEEVING TO EXTEND MINIMUM 12 INCHES BEYOND PAVING.

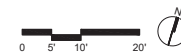
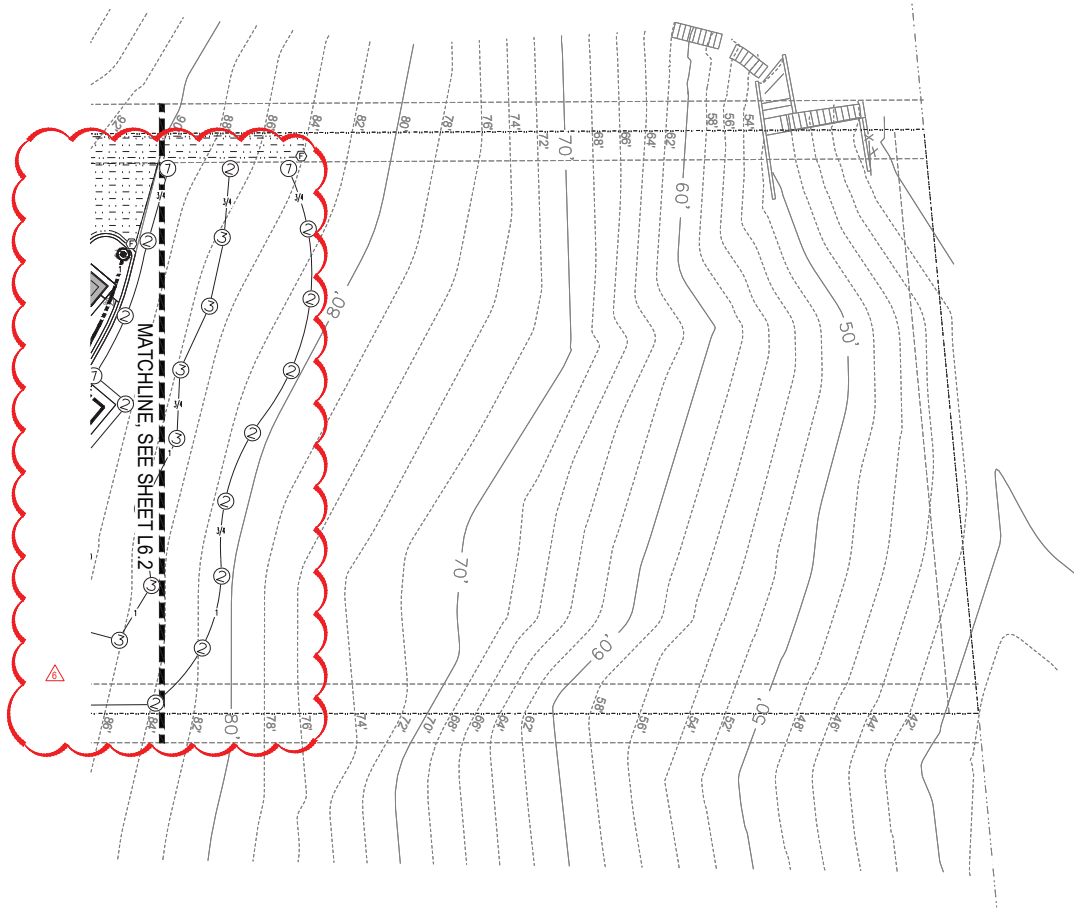
NOTE 4:  
CONTRACTOR SHALL ADJUST DRIPLINE LAYOUT TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR WITHIN THE PROJECT INCLUDING BUT NOT LIMITED TO FIRE HYDRANTS, LIGHT POLES, PEDESTRIAN BOLLARDS, BENCHES, ETC.

NOTE 5:  
CONTRACTOR SHALL LAYOUT DRIPLINE WHERE ADJACENT TO CURBS, SIDEWALK, OR OTHER HARDSCAPE AREAS AT 6 INCHES BACK OF THE HARDSCAPE EDGE.

NOTE 6:  
TO ACCOMMODATE TREES WITHIN DRIPLINE LAYOUT AREA CONTRACTOR SHALL ROUTE DRIPLINE AROUND TREES USING A PVC PIPE HEADER ON EITHER SIDE OF TREE TRUNK. USE 3/4" PVC HEADER FOR ZONES WITH TOTAL FLOW MAXIMUM OF 7 GPM FROM DIRECTION OF RCV ASSEMBLY. USE 1" PVC HEADER FOR ZONES WITH TOTAL FLOW MAXIMUM OF 8-14 GPM FROM DIRECTION OF RCV ASSEMBLY. LOCATE HEADER MINIMUM 3 FEET FROM TRUNK, OR AT LEADING EDGE OF PLANT MATERIAL ADJACENT TO TRUNK (REFER TO PLANTING PLAN FOR EDGE LOCATIONS), OR AS DIRECTED BY LANDSCAPE ARCHITECT. AT NO TIME SHALL DRIPLINE TUBING BE WRAPPED AROUND TREE TRUNK, DIVERTING FROM STRAIGHT AND PARALLEL LINES AT ROW SPACING SPECIFIED.

#### VALVE LOCATION NOTE

ELECTRIC CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE IRRIGATION CONTRACTOR SHALL STAKE OUT EACH ELECTRICAL CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ALL VALVES. FINAL LOCATION AND EXACT POSITIONING FOR ELECTRIC CONTROL VALVES AND ISOLATION VALVES SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. MINOR MODIFICATIONS OF ELECTRIC CONTROL VALVES AND ISOLATION VALVE LOCATIONS AS REQUESTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FAILURE TO OBTAIN THE OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE OWNER DIRECTED REVISIONS AT NO ADDITIONAL COST TO THE OWNER. IN GENERAL, UNLESS OTHERWISE DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE, ALL VALVES SHALL BE INSTALLED AS SHOWN IN SHRUB PLANTING AREAS.



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**Zumirez**

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#### PROJECT NOTES



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6	2021.05.20	BIOLOGY REVIEW REVISION

#### DRAWING DESCRIPTION

IRRIGATION PLAN

#### DRAWING NO.

**L6.3**

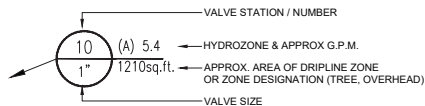
PROJECT	30530.00
DATE	JULY 15, 2020
SCALE	1"=10'-0"
DRAWN BY	HS

[illegible]

SYMBOL	MFR.	MODEL NO. / DESCRIPTION	DETAIL
<b>IRRIGATION UTILITIES</b>			
	P.O.C.	CONNECTION TO 1" POTABLE WATER METER WITH 1" SERVICE LINE. CONTRACTOR SHALL SUPPLY ALL HARDWARE AND FITTINGS REQUIRED TO CONNECT IRRIGATION MAINLINE TO METER. CONTRACTOR SHALL VERIFY METER LOCATION, SIZE, SERVICE LINE SIZE, AND STATIC WATER PRESSURE BEFORE COMMENCING WORK.	N/A
	FEBCO	1" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY. MODEL 825YA. INSTALL WITH WYE STRAINER #850A. INSTALL, CENTERED ON A 30"X36"X4" POURED-IN-PLACE CONCRETE PAD. UNIT TO BE INSTALLED WITHIN V.I.T. STAINLESS STEEL ENCLOSURE. CONTRACTOR SHALL DETERMINE EXACT LOCATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE BEFORE INSTALLATION. SEE PRESSURE CALCULATION.	L6.7/A
NO SYMBOL	V.I.T.	BACKFLOW ASSEMBLY ENCLOSURE. MODEL SBBC-22SS. INSTALL ON CONCRETE PAD WITH BF ASSEMBLY CENTERED. CONCRETE PAD TO EXTEND 6" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE. REFER TO MANUFACTURER'S INSTALLATION DETAIL AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION INFORMATION.	L6.7/A
	SUPERIOR	1" MASTER CONTROL VALVE. NORMALLY CLOSED. MODEL 3200. INSTALL PER MANUFACTURERS SPECIFICATIONS.	L6.7/B
	HUNTER	1" BRASS FLOW SUB-METER. MODEL HC-100-FLOW. INSTALL PER MANUFACTURER'S SPECIFICATIONS WITHIN A 12" RAIN BIRD STANDARD RECTANGULAR VALVE BOX. INSTALL AND WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS	L6.7/D
	LASCO	MAINLINE ISOLATION VALVE. MODEL VXX101N-SC. PVC SLO-CLOSE FULL BLOCK TRUE UNION 'SOCKET' BALL VALVE WITH EPDM O-RINGS. VALVE TO MATCH MAINLINE SIZE.	L6.7/C
NO SYMBOL	LASCO	MANIFOLD ISOLATION VALVE. SLO-CLOSE FULL BLOCK TRUE UNION 'SOCKET' PVC BALL VALVE WITH EPDM O-RINGS. MODEL VXX101N-SC. CONTRACTOR SHALL INSTALL ALL RCVS/QCVS ON MANIFOLDS. VALVE TO MATCH MANIFOLD SIZE. VALVE MANIFOLDS WITH ISOLATION VALVE ARE NOT SHOWN ON PLANS FOR CLARITY. CONTRACTOR SHALL INSTALL MANIFOLDS PER DETAIL.	L6.7/C; L6.9/C
	HUNTER	3/4" QUICK COUPLER VALVE. MODEL HQ-3RC. CONTRACTOR SHALL SUPPLY 3 QC KEYS. MODEL HK-33 WITH ARROWHEAD BRASS (CHAMPION) UPWARD 3/4"X 3/4" BENT-NOSE HOSE BIB. MODEL 975. ATTACHED. CONTRACTOR SHALL TURN OVER KEYS TO OWNER'S REPRESENTATIVE AT COMPLETION OF MAINTENANCE PERIOD.	L6.7/E; L6.9/C
	HUNTER	1" DRIP ZONE ASSEMBLY. MODEL IZ2-101-LF-40. WITH 40 PSI REGULATOR. INSTALL SPEARS 1" GRAY THREADED (FIFT) BALL VALVE. MODEL 2621-010G ON UPSTREAM SIDE OF VALVE FOR ISOLATION WHEN ASSEMBLY IS NOT PART OF A MANIFOLD.	L6.9/A,B,C
	HUNTER	1" REMOTE CONTROL VALVE ASSEMBLY, ICV SERIES. SIZE AS SHOWN.	L6.9/C; L6.10/B

#### IRRIGATION VALVE IDENTIFICATION

xxxxsq.ft. = AREA OF INLINE DRIP ZONE IN SQUARE FEET  
TREES = TREE DRIP SYSTEMS  
OVRHD = ROTARY HEAD SYSTEMS



ZUMIREZ RESIDENCE				
Water Pressure Calculations				
Meter No:			M	
Given Static Water Pressure:			75 psi	
Controller:			C	
Worst-Case valve No:			29	
29	Valve Demand:		9 GPM	
Concurrent Valve Operation:			2	
Concurrent Maximum System Demand:			17 GPM	
Elevation Difference From Meter to Highest Drip/Sprinklers:			-20 FT	
<u>Losses:</u>				
1 in	Water Meter, Disk Type	GPM	17 GPM	1.8 psi
1 in	Water Meter Service Line	COPPER	50 FT	5.2 psi
1 in	Backflow Devce	GPM	17 GPM	13.0 psi
1 in	Master Valve	GPM	17 GPM	3.5 psi
1 in	Flow Sensor	GPM	17 GPM	1.0 psi
1 in	R.C.V./Filter Assy	GPM	9 GPM	3.5 psi
1.5 in	Isolation Valves	Quantity	2	1.0 psi
Mainlines		GPM	Length	
1.5 in	PVC SCH 40	17 GPM	480 FT	4.5 psi
Total Mainline Losses				4.5 psi
PVC Zone Lateral Lines				3.0 psi
Pressure Differential to Highest Drip Lateral/Sprinkler				-8.7 psi
Total Losses:				28 psi
Required System Operating Pressure:			45 psi	
Operational Pressure Required:			73 psi	
Static Pressure Available:			75 psi	
Residual Press.re:			2 psi	
Minimum Allowable Residual Pressure:			2 psi	
Residual Pressure % of Static Pressure:			3%	
PUMP REQUIRED:			NO	Max. GPM
Pump Inlet PSI:			55 psi	17 GPM
Pump Outlet PSI:			55 psi	17 GPM
Pressure Boost Required:			0 psi	17 GPM

SYMBOL	MFR.	MODEL NO. / DESCRIPTION	DETAIL
<b>IRRIGATION MISCELLANEOUS</b>			
NO SYMBOL	SPEARS	PVC FITTINGS/NIPPLES: 1.) REQUIRED FOR ALL SOLVENT WELD MAINLINE FITTINGS 2 INCH (2") TO 2-1/2" INCH (2 1/2"). USE SPEARS PVC CL 315 BLUE 'EVERTUFF' FITTINGS. MODEL 4XX-XXXX. OR SCH 80 FITTINGS. 2.) REQUIRED FOR ALL SOLVENT WELD MAINLINE FITTINGS 3 INCH (3") TO 4 FOUR INCH (4"). USE SPEARS PVC CL 315 BLUE 'EVERTUFF' FITTINGS ONLY. MODEL 4XX-XXXX. 3.) REQUIRED FOR ALL FITTINGS WITH A THREADED MALE AND/OR FEMALE COMPONENT 1 INCH (1") OR LARGER. USE SPEARS PVC CL 315 BLUE 'EVERTUFF' TYPE OR SCH 80 FITTINGS. FEMALE FITTINGS REQUIRE STAINLESS STEEL REINFORCED COLLAR. 4.) FOR ALL THREADED PLASTIC NIPPLES USE SCH 80 PVC.	N/A
NO SYMBOL	DURA	1", 1-1/2" AND 2" COUPLING MANIFOLD SYSTEM (O-RING MIPIT X SWIVEL) IRRIGATION VALVE CONNECTION FITTING TO PVC MALE ADAPTER WITHIN RCV MANIFOLD. APPROVED FITTING SUBSTITUTE / REPLACEMENT FOR PVC UNIONS. PIN 332-010 AND 332-010 AND 332-020. INSTALL ON EITHER SIDE OF RCV. USE REDUCING PVC MALE ADAPTERS TO UPSIZE TO PVC PIPE AS REQUIRED. FITTING IS O-RING SEALED, DO NOT USE PASTE, DOPE, OR TEFLOON TAPE. SIZE PER RCV SIZE.	L6.9/A; L6.10/B
NO SYMBOL	RAIN BIRD	SPECIFICATION GRADE IRRIGATION VALVE BOXES FOR IRRIGATION EQUIPMENT. USE AS REQUIRED: MODELS VB-JMB, VB-STD, VB-10RND, VB-7RND, AND SEB-7XB (FOR DRIP EQUIPMENT). WITH GREEN LIDS IN TURF AREAS, WITH BLACK LIDS IN SHRUB AREAS.	L6.9/D
NO SYMBOL	3M	WIRE SPLICE CONNECTOR, MODEL DBR/Y-6 FOR RCV CONNECTIONS AND SPLICES.	L6.9/E
NO SYMBOL	PAIGE ELECTRIC	CONTROL WIRE, TYPE PE, #14 GAUGE, MODEL P70790-REV14. UF WIRE IS NOT ACCEPTABLE FOR USE ON PROJECT.	N/A
NO SYMBOL	CHRISTY'S	ALL REMOTE CONTROL VALVES SHALL BE OUTFITTED WITH A YELLOW ID TAG INDICATING THE VALVE NUMBER.	L6.9/A; L6.10/B
NO SYMBOL	N/A	CONTRACTOR SHALL COORDINATE ALL CONDUITS, SLEEVES, AND WIRE ROUTING WITH GENERAL CONTRACTOR AND ANY AFFECTED ON-SITE TRADES AS REQUIRED THROUGHOUT PROJECT.	N/A
NO SYMBOL	CHRISTY'S	FOR POTABLE WATER SYSTEMS USE 3" WIDE METALLIC DETECTABLE BLUE MARKER TAPE. MODEL TA-DT-3-BL. FOR RECYCLED WATER SYSTEMS USE 3" WIDE METALLIC DETECTABLE PURPLE MARKER TAPE. MODEL TA-DT-3-PRV. TAPE SHALL BE INSTALLED 12" ABOVE ALL IRRIGATION MAINLINES AND SLEEVES.	L6.7/F
NO SYMBOL	MARIFI	LANDSCAPE FABRIC, MODEL 150N OR 160N, OR APPROVED EQUAL. INSTALL WITHIN ALL VALVE BOXES. PLACE BENEATH ROCK/GRAVEL DRAINAGE MATERIAL AND COVER PIPE HOLES.	L6.7/B,C,D,E; L6.8/E; L6.9/A,F; L6.10/B; L6.11/D

#### IRRIGATION SYSTEM MAINTENANCE SCHEDULE

MAINTENANCE OF THE IRRIGATION SYSTEM IS A NECESSARY AND CONTINUING PROCESS INVOLVING MONITORING, ADJUSTMENT AND REPAIR. REPAIRS CAN BE MINIMIZED BY INSTITUTING A MAINTENANCE PROGRAM. SOME IRRIGATION SYSTEM MAINTENANCE ACTIVITIES NEED TO BE DONE AT REGULAR PERIODIC INTERVALS. OTHERS PERFORMED ON A NORMAL BASIS.

##### WEEKLY OR AFTER EACH MOWING

- \* TRIM TURF FROM AROUND SPRINKLER HEADS AS NECESSARY TO AVOID SPRAY BLOCKAGE.
- \* BRIEFLY ACTIVATE EACH CONTROL VALVE AND OBSERVE SPRINKLERS FOR PROPER COVERAGE AND OPERATION AND MISALIGNED BY MOVING OPERATIONS
- \* CHECK FOR IRRIGATION OVER SPRAY OR RUNOFF AND CORRECT AS NEEDED

##### MONTHLY

- \* ADJUST PROGRAMMING OF THE AUTOMATIC IRRIGATION CONTROLLERS BASED ON OBSERVED FIELD CONDITIONS
- \* CHECK THE SOIL MOISTURE WITH AN AUGER AND EVALUATE WITH REGARD TO DURATION AND FREQUENCY OF THE IRRIGATION CYCLES. FINE TUNE SYSTEMS WEEKLY OR BIWEEKLY AND MAKE CORRECTIONS AS NECESSARY. KEEP RECORDS OF ALL INFORMATION. MAINTAIN PET COCKS OF VALVE IN GOOD OPERATIONAL CONDITION. PET COCKS SHALL BE ONLY "FINGER TIGHT" WHEN IN THE CLOSED POSITION.
- \* CONTROLLER OPERATION: CHECK FIELD VALVES FOR SEQUENCING, TIMING, ACCURACY, AND GENERAL FUNCTION AT THE BEGINNING OF EACH WATERING SEASON.
- \* WALK AND CHECK ALL ON GRADE PIPE, CHECK FOR BREAKS OR LEAKS, CHECK STAKING AND POSITION OF ALL PIPE AND SPRINKLER HEADS INSTALLED ON SLOPE.

##### CONTINUALLY

- \* CLEAN SOIL AND DEBRIS FROM SPRINKLER BODIES AND NOZZLES TO ENSURE PROPER WATER DISCHARGE.
- \* STRAIGHTEN SPRINKLERS AND ADJUST NOZZLES TO INSURE PROPER WATER DISCHARGE.
- \* MAINTAIN ALL SPRINKLERS IN GOOD OPERATING ORDER, INCLUDING PROPER COVERAGE ADJUSTMENTS. REPAIR OR REPLACE SPRINKLERS AS NEEDED.
- \* MAINTAIN ELECTRIC CONTROL VALVE BOXES FREE OF DIRT AND DEBRIS.
- \* ADJUST WATER APPLICATIONS ACCORDING TO CHANGES IN THE WEATHER. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM EITHER OVER OR UNDER-WATERING.

##### AS NEEDED

- \* EXTEND THE HEIGHT OF SPRINKLERS AS NECESSARY IN SHRUB AND TURF AREAS TO AVOID INTERFERENCE FROM ADJACENT FOLIAGE.
- \* REPAIR OR REPLACE ALL DAMAGED EQUIPMENT WITH ONE WATERING PERIOD.
- \* TURN OFF CONTROLLERS TEMPORARILY DURING PERIODS OF RAINFALL.

##### EQUIPMENT REPLACEMENT

- \* REPLACE ANY IRRIGATION VALVES, SPRINKLERS OR OTHER COMPONENTS WITH REPLACEMENT OF THE EXACT TYPE AND MANUFACTURE AS CALLED FOR IN THE ORIGINAL IRRIGATION PLANS.

##### MAJOR REPAIRS

- \* WHERE CONDITIONS DEVELOP WHICH CAN NOT BE HANDLED BY ROUTINE MAINTENANCE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER.
- \* ALL DAMAGE NOT RESULTING FROM CONTRACTOR'S ACTIVITIES OR NEGLIGENCE SHOULD BE BROUGHT TO THE OWNER'S ATTENTION.
- \* DURING TIMES WHEN THE WATER SUPPLY IS CUT OFF OR THE IRRIGATION SYSTEM IS OTHERWISE INOPERABLE, THE LANDSCAPE SHOULD BE CAREFULLY MONITORED FOR SIGNS OF WATER STRESS. START A HAND WATERING PROGRAM IMMEDIATELY FOR ALL STRESSED LANDSCAPES. NOTIFY OWNER IN WRITING IF THIS OCCURS.

##### KEEPING OF RECORDS

- \* THE CONTRACTOR SHALL KEEP PERMANENT RECORDS OF ALL PERFORMED MAINTENANCE TASKS.
- \* RECORD ALL WATER USAGE AND CHANGES IN THE CONTROLLER TIMING, INCLUDING OFF TIMES DURING RAINFALL.
- \* RECORD ALL ACTIVITIES PERFORMED DURING THE QUARTERLY REVIEW.
- \* RECORD ALL PROPOSED AND EXECUTED REPAIRS.
- \* RECORD ALL TIMES WHEN THE IRRIGATION SYSTEMS ARE NOT OPERABLE.
- \* RECORD ALL PERFORMED IRRIGATION AUDITS.

#### IRRIGATION SYSTEM AUDIT SCHEDULE

A SCHEDULE OF LANDSCAPE IRRIGATION AUDITS OF AT LEAST EVERY FIVE YEARS MUST BE ESTABLISHED FOR ALL BUT SINGLE-FAMILY RESIDENCES, AND OTHER PROJECTS WITH A LANDSCAPE AREA LESS THAN 1 ACRE. AS REQUIRED IN CHAPTER 20.09 IN TITLE 20 (UTILITIES CODES), AN AUDIT SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

AT MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK, PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER CONSERVATION OFFICE. THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY REFERENCE.

THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

##### KEEPING OF RECORDS

- \* RECORD ALL PERFORMED IRRIGATION AUDITS.

#### 492.7 IRRIGATION DESIGN PLAN

- THE IRRIGATION SYSTEM IS DESIGNED TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE. PRESSURE REGULATING DEVICES SHALL BE INSTALLED WHERE NECESSARY.
- THE USE OF LOW VOLUME IRRIGATION IS UTILIZED ON THIS PROJECT TO MAXIMIZE WATER INFILTRATION INTO THE ROOT ZONE. ALL EMISSION DEVICES MEET THE CRITERIA AND SHALL BE INSTALLED AND OPERATED ACCORDING TO MANUFACTURE'S RECOMMENDATIONS.
- IRRIGATION SYSTEMS ARE DESIGNED USING SUB-SURFACE DRIPLINE WITH EMITTER CHECK VALVE TO PREVENT RUN-OFF, LOW HEAD DRAINAGE, AND OVERSPRAY THUS ALLOWING NO WATER TO FLOW ONTO NON-TARGET AREAS.

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AS A CONTRACT, THIS DRAWING MAY BE PROVIDED IN ELECTRONIC FORMAT AND SHOULD BE USED FOR REFERENCE PURPOSES ONLY. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF A PROFESSIONAL SEAL OR PRODUCT. ONLY THE SIGNED HARD COPY PREPARED FOR THE PROJECT CONSTITUTES THE PROFESSIONAL WORK PRODUCT. THE HARD COPY MUST BE RETURNED TO THE PROJECT FOR THE CORRECTED VERSION. THE DELIVERY OF THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT PROVIDED, EXEMPTED, AND SIGNED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE AND HOLD HARMLESS AS FOR ALL COSTS AND DAMAGES.

PROJECT

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES

REVISION SCHEDULE

NO.	DATE	ISSUE
2020.08.14	OWNER CHANGES	

DRAWING DESCRIPTION

IRRIGATION LEGEND

DRAWING NO.

**L6.5**

PROJECT	30530.00
DATE	JULY 15, 2020
SCALE	N/A
DRAWN BY	JB

GENERAL IRRIGATION NOTES

DESIGN CRITERIA:

1. THE IRRIGATION DESIGN IS BASED ON THE EQUIPMENT MANUFACTURERS, MODELS, AND SPECIFICATIONS AS SHOWN IN THE PLAN, LEGEND, DETAILS, AND SPECIFICATIONS. IN THE EVENT THE CONTRACTOR CHOOSES TO USE AN ALTERNATE PRODUCT, THE PRODUCT MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO SUBSTITUTION AND MUST MEET THE SAME DESIGN PARAMETERS (PRECIPITATION RATES, FLOW CHARACTERISTICS, PRESSURE LOSS CHARACTERISTICS, OPTIMAL OPERATING PRESSURE REQUIREMENTS, PROGRAMMING PROTOCOL, ETC.). THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASSOCIATED CHANGES AND DESIGN REQUIREMENTS (REDESIGN, PLAN CHECK, LAYOUT, CONSTRUCTION ADMINISTRATION, ETC.) AND SHALL TAKE ON AND ASSUME ALL LIABILITY FOR THE DESIGN, IMPLEMENTATION OF THE DESIGN, AND OPERATION OF THE IRRIGATION SYSTEM.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROCURE AN ORIGINAL SET OF THESE PRINTED IRRIGATION PLANS FOR BIDDING AND CONSTRUCTION.
3. XEROX COPIES OF THESE PLANS ARE NOT ALLOWED FOR BIDDING AND CONSTRUCTION AS THEY MAY NOT SHOW IRRIGATION SYMBOLS, LINE WEIGHTS, OR LINE TYPES CLEARLY.
4. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, PROPERTY LINES, DIMENSIONS AND THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK.
6. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
8. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREA.
9. DURING THE COURSE OF DESIGN THE IRRIGATION CONSULTANT CANNOT FORESEE EXISTING TREE CANOPY SIZE OR DENSITY, OR ESTIMATE EXACT SUN/SHADE RELATIONSHIP PATTERNS OF THE TREES. WHERE SPRINKLER HEADS AND/OR SPRAY COVERAGE LANDS IN AND/OR AROUND TREE SHADE COVER PATTERNS CONTRACTOR SHALL BE RESPONSIBLE TO MAKE MINOR FIELD ADJUSTMENTS AS MAY BE NECESSARY TO THE SPRINKLER HEAD LAYOUT AND NOZZLE SELECTION TO ACCOMMODATE SHADE DENSITY AND SHADE PATTERNS AS REQUIRED TO REDUCE OVER-WATERING OR UNDER-WATERING IN THESE AREAS. WHERE IRRIGATED SUNNY AREAS ARE FOUND TO BE WITHIN OR AROUND A SHADED AREA SPRINKLER ZONE, CONTRACTOR WILL BE REQUIRED TO ADD ADDITIONAL HEADS AND/OR INCREASE NOZZLE SIZE AS MAY BE NECESSARY TO PROVIDE ADDITIONAL WATER TO THE SUNNY AREA.

EQUIPMENT / P.O.C. NOTES:

10. VERIFY THE ACTUAL LOCATION AND SIZE OF WATER METER AND BOTH STATIC AND DYNAMIC WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE P.O.C INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL P.O.C INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO FIELD VERIFY THE P.O.C INFORMATION AND NOTIFY THE ABOVE, ANY ADDITIONAL COSTS INCURRED BY CHANGES REQUIRED TO BE MADE TO THE IRRIGATION SYSTEM BECAUSE OF LOW OR HIGH PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. P.O.C EQUIPMENT LAYOUT INCLUDING, BUT NOT LIMITED TO, IRRIGATION WATER METER, BOOSTER PUMP, ELECTRICAL STUB-OUT, FILTER, BACKFLOW ASSEMBLY, HYDROMETER, MASTER VALVE, FLOW SENSOR, AND FERTILIZER INJECTOR IS DIAGRAMMATIC DUE TO THE SCALE OF THE DRAWING. LOCATIONS MAY BE SHOWN WITHIN PAVING AND/OR ORIENTED IN A CERTAIN DIRECTION FOR CLARITY ONLY. PLAN DOES NOT ACCOUNT FOR EQUIPMENT BY OTHERS WITHIN VICINITY OF P.O.C. CONTRACTOR SHALL VERIFY SPECIFIC LAYOUT ORIENTATION AND ACTUAL EQUIPMENT LOCATIONS WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF EQUIPMENT.
12. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT WHERE SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT CONDITIONS EXIST, WHICH ARE NOT INDICATED ON THE PLANS. SUCH CONDITIONS MAY HAVE BEEN UNKNOWN AND NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ABOVE, ANY ADDITIONAL COSTS INCURRED BY REQUIRED CHANGES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
13. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY, AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

CONTROLLER / WIRE NOTES:

14. CONTRACTOR SHALL REFER TO IRRIGATION LEGEND FOR CONTROLLER TYPE, FINAL LOCATION OF CONTROLLER AND ELECTRICAL P.O.C. SHALL BE CONFIRMED WITH THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
15. ALL CONTROL WIRE UNDER PAVED AREAS SHALL BE INSTALLED WITHIN A PVC SLEEVE. MINIMUM SIZE: 1-1/2 INCH- FOR UP TO 15 WIRES; 2 INCH- FOR 16-20 WIRES; 3 INCH- FOR 21-55 WIRES. FOR SLEEVE RUNS LONGER THAN 40 FEET REDUCE WIRE COUNT PER SLEEVE SIZE BY 25%.
16. CONTRACTOR SHALL ROUTE TWO ADDITIONAL 'CONTROL' WIRES AND ONE ADDITIONAL 'COMMON' WIRE ALONG ENTIRE MAINLINE ROUTE AND ALONG EACH AND EVERY LEG OF MAINLINE ROUTE. ROUTE WIRES INTO EACH AND EVERY RCV VALVE BOX. WHERE VALVE BOXES ARE GROUPED INTO A MANIFOLD, ROUTE WIRES INTO FIRST VALVE BOX ON MANIFOLD ONLY. 'SPARE' 'CONTROL' WIRES SHALL BE OF A DIFFERENT COLOR THAN THOSE USED ON THE PROJECT. 'COMMON' WIRE SHALL BE OF A DIFFERENT COLOR THAN THAT USED ON THE PROJECT, OR WHITE WITH A STRIPE.
17. CONTRACTOR SHALL INSTALL FLOW SENSOR WIRE WITHIN A SEPARATE 1" SCH 40 PVC ELECTRICAL CONDUIT.

CONTROLLER PROGRAMMING NOTES:

18. SHOW WATER USE SCHEDULE NOTING IRRIGATION CYCLES AND RUN TIMES PER STATION OR PLANT TYPE (TURF, SHRUB, TREES, SUN, SHADE) MONTHLY OR SEASONALLY.

RCV / QCV NOTES:

19. REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT EACH ELECTRICAL CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. FINAL LOCATION AND EXACT POSITIONING FOR ELECTRIC CONTROL VALVES AND ISOLATION VALVES SHALL BE DETERMINED BY THE OWNERS AUTHORIZED REPRESENTATIVE. MINOR MODIFICATIONS OF REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS AS REQUESTED BY THE OWNERS AUTHORIZED REPRESENTATIVE SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT. FAILURE TO OBTAIN OWNERS APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE PROJECT DIRECTED REVISIONS AT NO ADDITIONAL COST TO THE OWNER. IN GENERAL, UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL VALVES SHALL BE INSTALLED WITHIN THREE FEET FROM EDGE OF HARDSCAPE, WALK OR CURB IN SHRUB PLANTING AREAS.
20. RCV SYMBOL LOCATIONS ARE SHOWN DIAGRAMMATICALLY FOR CLARITY ONLY. TO CONCEAL VALVE BOX LOCATIONS INSTALL EQUIPMENT AWAY FROM BUILDING ENTRANCES AND OTHER AREAS AS DETERMINED BY OWNERS AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONFIRM LOCATIONS WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

PIPE / SLEEVE NOTES:

21. MAINLINE LAYOUT IS DIAGRAMMATIC DUE TO THE SCALE OF THE DRAWINGS. ROUTING MAY BE SHOWN WITHIN BUILDINGS AND/OR PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE WITHIN PLANTER A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP. CONTRACTOR SHALL ADJUST MAINLINE ROUTING TO ACCOMMODATE ANY OTHER OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO TREES, LIGHT POLES, BOLLARDS, FIRE HYDRANTS, DRINKING FOUNTAINS, CONCRETE FOOTINGS, ETC.

22. MAINLINE AND/OR LATERAL PIPE ROUTING SHOWN OUTSIDE PROPERTY LINE AND/OR L.O.W. IS DIAGRAMMATIC AND FOR CLARITY ONLY, CONTRACTOR SHALL ROUTE MAINLINE WITHIN PROPERTY LINE AND/OR L.O.W.
23. ALL PIPE MATERIAL AND INSTALLATION LABOR REQUIRED FOR MAINLINE OR LATERAL LINE ADJUSTMENTS DUE TO ACCOMMODATIONS IN THE FIELD SHALL BE INCLUDED WITHIN CONTRACTED PRICE AND MAY NOT BE SUBMITTED AS A CHANGE DUE TO THE ORIGINAL BID.
24. NO PVC PIPE MAINLINES SHALL BE ROUTED OR ALLOWED CLOSER THAN 12 FEET FROM ANY TREE TRUNK AT ANY TIME. PIPE ROUTING AS SHOWN ON PLANS IS FOR DIAGRAMMATIC PURPOSES ONLY. WHEN PIPE MUST BE ROUTED CLOSER THAN 12 FEET BECAUSE OF HARDSCAPE CONSTRAINTS OR OTHER OBSTACLES CONTRACTOR SHALL INSTALL MAINLINE PIPE WITHIN SLEEVE WHERE PIPE IS WITHIN 12 FEET OF THE TRUNK AND SO INDICATE THE PIPE ROUTING AND SLEEVE LOCATIONS ON THE AS-BUILT DRAWINGS.
25. SLEEVES AND THEIR LOCATIONS ARE DIAGRAMMATICALLY SHOWN FOR CLARITY ONLY. ALL IRRIGATION SLEEVES MAY NOT BE SHOWN FOR CLARITY PURPOSES. CONTRACTOR SHALL INSTALL SLEEVES BELOW ALL PAVING, HARDSCAPE, ETC. AND AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. ALL PIPE UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE. AT MINIMUM TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL SLEEVES TO BE INSTALLED A MINIMUM DEPTH AS SHOWN ON THE PIPE/SLEEVE DETAIL. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
26. ALL SLEEVE ENDS MUST BE SEALED WITH FOAM SEALANT INSIDE PIPE TO MINIMIZE DEBRIS INTRUSION.
27. LATERAL LINES MAY BE SHOWN WITHIN BUILDINGS AND/OR PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER.
28. ALL CONVENTIONAL CONTROL WIRE UNDER HARDSCAPE AND/OR PAVED AREAS SHALL BE INSTALLED WITHIN A SLEEVE OR CONDUIT, SEE LEGEND FOR TYPE. MINIMUM SIZE: 1-1/2 INCH- FOR UP TO 15 WIRES (#14 GAUGE); 2 INCH- FOR 16-20 WIRES (#14 GAUGE); 3 INCH- FOR 21-55 WIRES (#14 GAUGE). FOR SLEEVE RUNS LONGER THAN 40 FEET REDUCE WIRE COUNT PER SLEEVE SIZE BY 25%. ALL SLEEVES TO BE INSTALLED A MINIMUM DEPTH AS SHOWN ON THE PIPE/SLEEVE DETAIL. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.

DRIP/LOW VOLUME SYSTEMS- GENERAL NOTES:

29. ALL MAINLINES AND LATERAL LINES SHALL BE THOROUGHLY FLUSHED CLEAN BEFORE DRIP MANIFOLD ASSEMBLIES AND/OR DRIP TUBING CONNECTIONS ARE MADE. ALL DRIP TUBING LINES SHALL BE FLUSHED CLEAN BEFORE BACKFILLING.
30. ALL LATERAL LINES FOR DRIP ZONES SHALL BE PVC SCH 40 PIPE.

DRIP/LOW VOLUME SYSTEMS- DRIPLINE NOTES:

31. DRIPLINE SYSTEMS RUN TIMES SHALL ALWAYS BE PROGRAMMED TO USE THE CONTROLLER'S 'CYCLE AND SOAK' FUNCTION FOR "PULSE IRRIGATION" PROGRAMMING. AFTER DETERMINING TOTAL ZONE RUN TIME CONTRACTOR SHALL BREAK THE RUN TIME INTO A MINIMUM OF 3-4 CYCLES. INEFFICIENT IRRIGATION OCCURS WHEN ONLY ONE CYCLE IS USED. WATER WILL MIGRATE BELOW THE ROOT ZONE OF TURF OR PLANTS VIA GRAVITY FLOW. SHORT RUN TIMES ALLOW WATER TO SPREAD THROUGHOUT AREA MORE EFFICIENTLY.
32. DUE TO REQUIREMENT OF MAXIMUM SYSTEM EFFICIENCY ALL DRIPLINE TUBING SHALL LAY LEVEL WITHIN TRENCH. TRENCHES SHALL BE LEVELED ACROSS BOTTOM OF TRENCH, AT NO TIME SHALL BOTTOM OF TRENCH UNDUULATE.
33. CONTRACTOR SHALL COMPACT ALL DRIPLINE TRENCHES TO 95% SOIL COMPACTION. CONSISTENT COMPACTION IS REQUIRED TO PROVIDE EFFICIENT AND EVEN WATERING OF TURF OR SHRUB PLANT MATERIAL.
34. CONTRACTOR SHALL AND IS REQUIRED TO USE THE RAIN BIRD INSERT TOOL, MODEL FITNS-TOOL FOR INSTALLATION OF RAIN BIRD DRIPLINE INSERT FITTINGS. CONTRACTOR SHALL ALWAYS INSERT FITTING UNTIL THE FITTING 'STOP' IS ABUTTED TO TUBING.
35. FOR SHRUB AREAS ON SLOPES INSTALLED WITH DRIPLINE TUBING THE CONTRACTOR SHALL BE HELD ACCOUNTABLE FOR CREATING A TRIANGULAR WETTING PATTERN ACROSS ALL SLOPES. LAY TUBING HORIZONTAL TO SLOPE. OFFSET THE EMITTERS BY HALF THE EMITTER SPACING WHEN INSTALLING TUBING TO CREATE A TRIANGULAR WETTING PATTERN ACROSS THE SLOPE. DO NOT INSTALL TUBING SO AS THE EMITTERS ARE DIRECTLY IN LINE (PERPENDICULAR) WITH EACH OTHER.

DRIP/LOW VOLUME SYSTEMS- POINT SOURCE DRIP NOTES:

36. VERIFY THE ACTUAL PLANT QUANTITIES AND SIZES FROM THE LANDSCAPE PLANS PRIOR TO BIDDING OR COMMENCING WORK. CONTRACTOR TO PROVIDE THE QUANTITY OF EMITTERS, BASED ON THE ACTUAL PLANT COUNT WITH REFERRAL TO THE EMITTER TABLE SHOWN IN THE LEGEND.
37. CONTRACTOR TO PROVIDE THE QUANTITY OF EMITTERS BASED ON THE ACTUAL SHRUB AND TREE COUNT AND THE EMITTER TABLES SHOWN. ANY REFERENCE TO TOTAL EMITTER QUANTITIES ON THESE PLANS IS FOR DESIGN USE ONLY. VERIFY THE ACTUAL SHRUB AND TREE QUANTITIES AND SIZES FROM THE LANDSCAPE PLANS PRIOR TO BIDDING OR COMMENCING WORK.
38. THE EMITTER TABLE IN LEGEND IS ESTIMATED EMITTER QUANTITIES AND FLOWS. CONTRACTOR SHALL INSTALL EMITTERS AS SHOWN IN THE TABLE AT INITIAL INSTALLATION.
39. THE IRRIGATION PLANS AND THE SPECIFICATION OF INDIVIDUAL EMITTERS DO NOT TAKE INTO ACCOUNT THE EXPOSURE IDIOSYNCRASIES OF LOCATION, RELATIVE TO SUN OR SHADE PATTERNS WITHIN A ZONE. BEFORE COMMENCING WORK CONTRACTOR SHALL FIELD REVIEW ALL PLANTER AREAS WHERE POINT SOURCE DRIP ZONES ARE SHOWN ON THE PLANS. CONTRACTOR MAY BE REQUIRED TO SUBSTITUTE THE SIZE OF EMITTER (FLOW RATE) AS CALLED OUT IN THE LEGEND FOR ANOTHER OF A HIGHER OR LOWER FLOW RATE, DEPENDING ON THE LOCATION OF THE EMITTER. FOR SHRUBS LOCATED WITHIN A SHADED AREA AN EMITTER WITH A LOWER FLOW RATE (I.E. 1/2X FLOW RATE) MAY BE REQUIRED THAN WHAT IS REQUIRED FOR THE SAME SHRUB TYPE INSTALLED WITHIN A SUNNY AREA. SHRUBS INSTALLED WITHIN A HIGH HEAT INDEX AREA, SUCH AS WITHIN THE SPHERE OF INFLUENCE OF A GROUND LEVEL WINDOW (OR OTHER REFLECTIVE SURFACE) ON A SOUTH OR WEST FACING EXPOSURE, MAY REQUIRE A HIGHER FLOW EMITTER TO COMPENSATE FOR THE HIGHER WATER EVAPORATION LOSS FROM THE SOIL. WHEN AREAS ARE FOUND, SUCH AS LISTED ABOVE, ON A PROJECT THE CONTRACTOR SHALL REVIEW AREAS WITH THE LANDSCAPE ARCHITECT FOR REQUIRED INDIVIDUAL EMITTER SUBSTITUTIONS. SUCH EMITTER SUBSTITUTIONS SHALL NOT INCREASE THE COST OF THE PROJECT.
40. FOR MULTI-OUTLET DRIP MANIFOLDS: UNITS SHALL BE ALIGNED WITH TREES AS SHOWN IN THE DETAILS. INSTALL AT DISTANCE FROM TREE PER LEGEND DESCRIPTION. CONFIRM ALL PROPOSED LAYOUT IN FIELD WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
41. TREE/PALM DRIP SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE THE UP-SIZING OF EMITTERS TO COMPENSATE FOR FUTURE PLANT GROWTH. MAINTENANCE PERSONNEL SHALL UPSIZE EMITTERS AND QUANTITIES AS REQUIRED TO PROVIDE ADEQUATE WATER FOR HEALTHY PLANT GROWTH.
42. WHEN DIFFERENT SPECIES OF TREES/PALMS ARE TIED TO THE SAME ZONE VALVE CONTRACTOR SHALL BE REQUIRED TO MAKE ADJUSTMENTS TO SIZE OF EMITTERS (FOR QUANTITY OF WATER PURPOSES) FOR EACH SPECIES OF TREE/PALM IN THE ZONE AS NEEDED TO PROVIDE PROPER AND ADEQUATE AMOUNT OF WATER AS REQUIRED BY EACH SPECIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INFORMATION REGARDING PROPER AND ADEQUATE AMOUNT OF WATER AS REQUIRED BY EACH SPECIES.
43. POST PLANT INSTALLATION: IT SHALL BE THE RESPONSIBILITY OF LANDSCAPE CONTRACTOR TO REVISE EMITTER SIZES AS MAY BE NEEDED TO PROVIDE ANY WATER VOLUME ADJUSTMENTS FOR HEALTHY PLANT GROWTH. THIS TASK SHALL BE COMPLETED AFTER THREE WEEKS OF PLANT OBSERVATIONS AFTER INITIAL INSTALLATION AND AGAIN ONE WEEK BEFORE MAINTENANCE PERIOD IS COMPLETED. ALL EMITTER CHANGES AND FINE TUNE ADJUSTMENTS SHALL BE CARRIED OUT AS PART OF THIS PROJECT WITH NO ADDITIONAL COST TO THE OWNER DISTRICIT. COMPLETE AFTER CONSULTATION AND REVIEW OF WATER NEEDS WITH THE IRRIGATION CONSULTANT AND LANDSCAPE ARCHITECT.

REMOVAL AND DISPOSAL NOTES:

44. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF ALL EXISTING IRRIGATION EQUIPMENT AFFECTED BY THE PROPOSED IRRIGATION IMPROVEMENTS. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE REMOVED AND DISPOSED OF IN FIELD PRIOR TO COMMENCING WORK.
45. CONTRACTOR SHALL MEET WITH THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING DEMOLITION OR ANY OTHER WORK, AND WALK SITE TO LOCATE EXISTING CONTROLLER AND LINES AND OTHER IRRIGATION EQUIPMENT IF THEY ARE TO BE PROTECTED IN PLACE.



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PROJECT

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PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES

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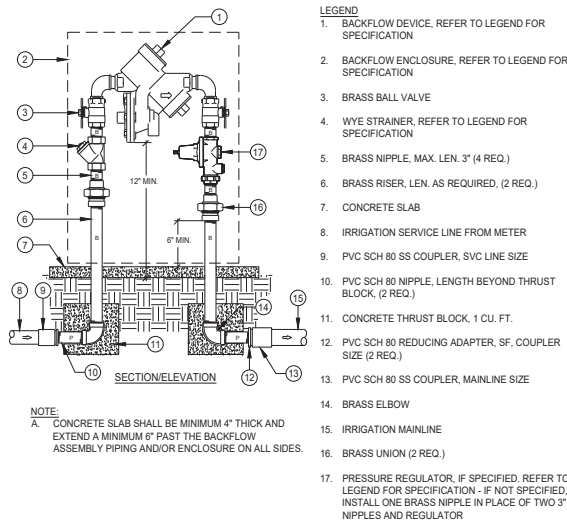
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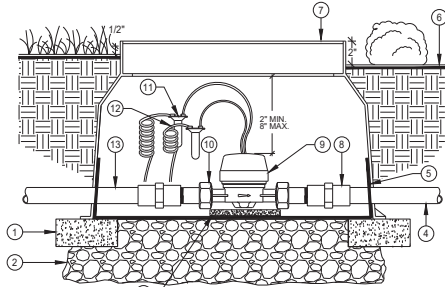
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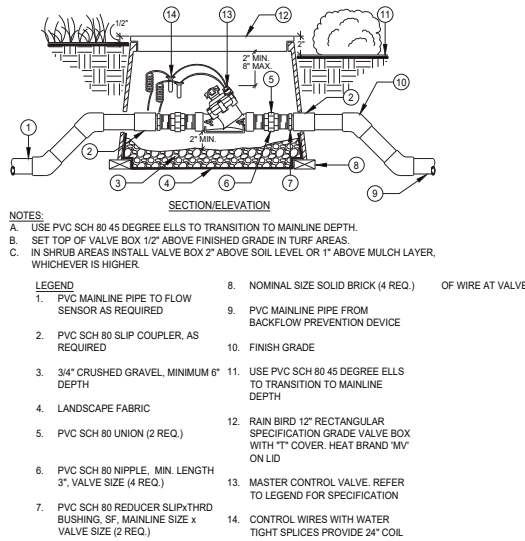
## A BACKFLOW ASSEMBLY

SCALE: N.T.S.



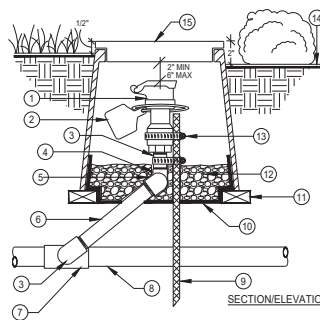
## D FLOW SUB-METER INSTALLATION

SCALE: N.T.S.



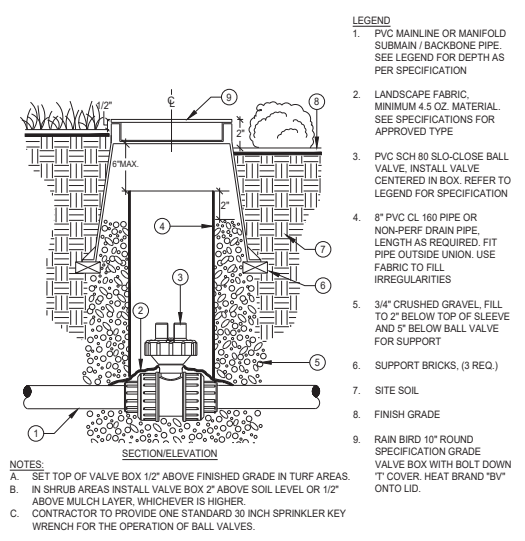
## B MASTER VALVE ASSEMBLY

SCALE: N.T.S.



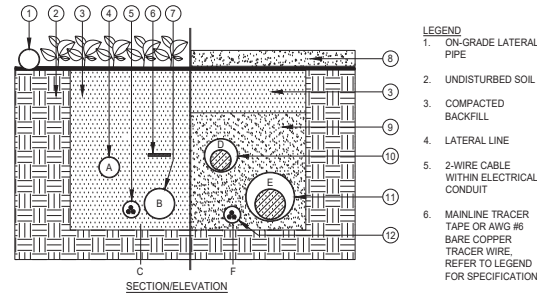
## E QUICK COUPLER ASSEMBLY

SCALE: N.T.S.



## C PVC MAINLINE ISOLATION BALL VALVE

SCALE: N.T.S.



DEPTH CHART	A	B	C	D	E	F
6" & LARGER	-	36"	36"	36"	36"	36"
3" & 4"	18"	24"	24"	30"	36"	36"
2 1/2" & SMALLER	12"	18"	18"	24"	30"	30"
WIRING	-	-	BESIDE MAIN	-	BESIDE MAIN	-

- NOTES:**  
A. SLEEVE UNDER PEDESTRIAN WALKWAYS SHALL EQUAL DEPTHS INDICATED IN COLUMNS A, B, & C.  
B. LINES MUST HAVE MIN. CLEARANCE OF 4" FROM EACH OTHER & 12" FROM OTHER TRADES.  
C. RUN WIRING BESIDE MAINLINE AT LOCATION SHOWN, TAPE & BUNDLE @ 10" O.C.  
D. TIE A 24" LOOP IN ALL WIRING AT CHANGES IN DIRECTION, WHEN NOT INSTALLED WITHIN CONDUIT.  
E. ALL SLEEVES MUST BE 2X THE DIAMETER OF THE PIPE WITHIN.  
F. ALL SLEEVE ENDS MUST BE SEALED WITH FOAM SEALANT INSIDE PIPE TO MINIMIZE DEBRIS INTRUSION.  
G. ALL SLEEVES MUST EXCEED 12" MIN. DISTANCE PAST EDGE OF ROADWAY, CURB, OR SIDEWALK.  
H. CONTRACTOR MUST ADJUST MAINLINE AROUND ALL STREET LIGHT LOCATIONS, LIGHT BOLLARDS, TREE ROOT BALLS, (MIN. 5' CLEARANCE), AND OTHER OBSTACLES.



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## PROJECT

## Zumirez

## PROJECT ADDRESS

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## PROJECT NOTES

## REVISIONS

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES

## DRAWING DESCRIPTION

IRRIGATION DETAILS

## DRAWING NO.

L6.7

## PROJECT

30530.00

## DATE

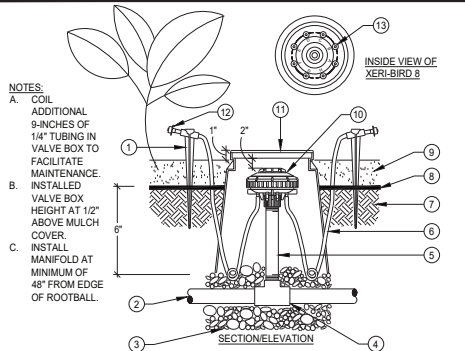
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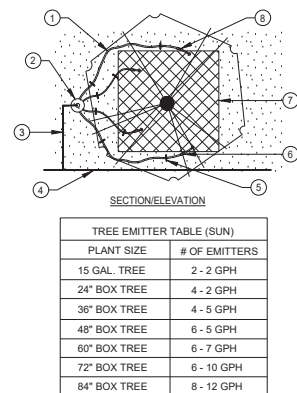
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JB



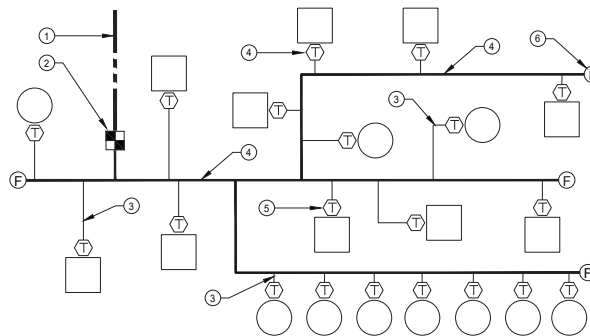
- NOTES:**
- A. COIL ADDITIONAL 9-INCHES OF 1/4" TUBING IN VALVE BOX TO FACILITATE MAINTENANCE.
- B. INSTALLED VALVE BOX HEIGHT AT 1/2" ABOVE MULCH COVER.
- C. INSTALL MANIFOLD AT MINIMUM OF 48" FROM EDGE OF ROOTBALL.
- LEGEND**
- 1/4-INCH TUBING STAKE: RAIN BIRD, MODEL TS-025. QTY'S. - ONE PER EMITTER. SEE EMITTER TABLE FOR QUANTITY OF EMITTERS PER PLANT
  - PVC LATERAL PIPE
  - 3/4" CRUSHED GRAVEL, MIN. 3" DEPTH
  - PVC SCH 40 TEE/ELL FITTING
  - PVC SCH 80 NIPPLE, 1/2" x 10" LENGTH
  - 1/4" DISTRIBUTION TUBING: RAIN BIRD, MODEL XQ
  - AMENDED SITE SOIL
  - FINISH GRADE
  - MULCH LAYER. REFER TO LANDSCAPE SPECIFICATIONS FOR TYPE AND DEPTH
  - 7-INCH VALVE BOX: RAIN BIRD MODEL SEB-7XB
  - DIFFUSER BUG CAP: RAIN BIRD MODEL DBC-025 (TYP.)
  - EMITTER: RAIN BIRD MODELS. SEE EMITTER TABLE FOR TYPE AND QUANTITY OF EMITTERS PER PLANT

**A TREE DRIP EMITTER MANIFOLD ASSEMBLY**  
SCALE: N.T.S.



- LEGEND**
- 1/4" DISTRIBUTION TUBING: RAIN BIRD, MODEL XQ
  - MULTI-OUTLET EMISSION DEVICE: RAIN BIRD XERI-BIRD 8, MODEL XBD-80 INSTALLED WITHIN 7" SPECIFICATION GRADE VALVE BOX
  - 1/2" PVC SCH 40 LATERAL LINE PIPE
  - PVC SCH 40 LATERAL LINE PIPE. SEE SPECIFICATIONS FOR DEPTH REQUIREMENTS
  - GALVANIZED TIE-DOWN TUBING U-STAKE: RAIN BIRD, MODEL TS-025
  - 1/4-INCH TUBING STAKE: RAIN BIRD, MODEL TS-025
  - ROOTBALL OF TREE
  - DIFFUSER BUG CAP: RAIN BIRD MODEL DBC-025
- NOTES:**
- A. PLACE MULTI-OUTLET DRIP MANIFOLD MINIMUM FORTY EIGHT (48") INCHES FROM EDGE OF ROOTBALL. ADJUST PER ROOTBALL SIZE. TYPICAL. INSTALL REQUIRED AMOUNT OF EMITTERS, TUBING, AND BUG CAPS PER EMITTER TABLE. NUMBER OF EMITTERS IN DETAIL ARE FOR EXAMPLE ONLY.
- B. SLOPED AREAS: PLACE EMITTERS OFF-CENTER ON UPHILL SIDE OF TREE DEPENDING ON STEEPNESS. TO ALLOW WATER TO FLOW ACROSS ROOTBALL FOR MAXIMUM EFFECTIVE WATER USE.
- C. ROUTE 1/4" TUBING AROUND ROOTBALL ALONG OUTSIDE EDGE. DO NOT CROSS ROOTBALL AT ANY TIME.
- D. INSTALL RAIN BIRD U-STAKES, MODEL TDS-050 OVER 1/4" TUBING 4" BEHIND EMITTER STAKE AND 1" O.C. (MIN. 2 STAKES PER 1/4" TUBING) AROUND ROOTBALL AT EDGE TO ELIMINATE TUBING MOVEMENT.
- E. ALL 1/4" TUBING SHALL BE BURIED TO A MINIMUM DEPTH OF 2" BELOW SOIL SURFACE. EMITTER OUTLET AND BUG CAP SHALL BE PLACED AT GRADE.

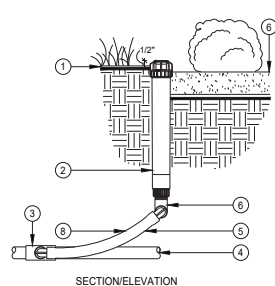
**B TREE DRIP MANIFOLD INSTALLATION**  
SCALE: N.T.S.



- LEGEND**
1. MAINLINE. REFER TO LEGEND FOR TYPE.
  2. DRIP ZONE CONTROL VALVE ASSEMBLY. REFER TO LEGEND FOR SPECIFICATION
  - 1/2" SCH 40 PVC SUB-LATERAL PIPE TO DRIP MANIFOLD ASSEMBLY. TYPICAL
  - 3/4" SCH 40 PVC LATERAL "BACKBONE" PIPE. TYPICAL. REFER TO PLAN FOR SIZES
  - MULTI-EMISSION MANIFOLD DEVICE PLACEMENT EXAMPLE
  - FLUSH VALVE WITHIN 7" ROUND VALVE BOX. TYPICAL. SEE DETAIL L-105/2

- NOTES:**
- A. CONTRACTOR SHALL ROUTE LATERAL PIPE THROUGHOUT ZONE USING BEST INSTALLATION PRACTICES
- B. PLACE MULTI-EMISSION MANIFOLD AT MINIMUM FORTY EIGHT (48") INCHES FROM EDGE OF TREE/PALM ROOT BALL. TYPICAL.

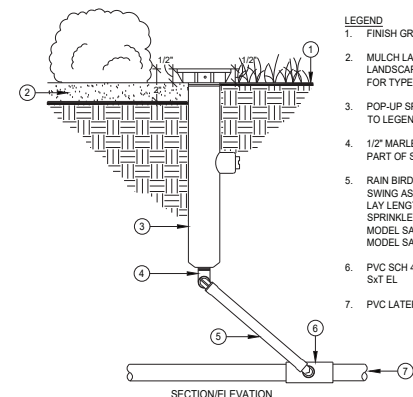
**D TREE DRIP SYSTEMS PVC LATERAL LAYOUT**  
SCALE: N.T.S.



- LEGEND**
- FINISH GRADE
  - ECO-INDICATOR
  - DRIP MANIFOLD TEE OR EL
  - PVC DRIP MANIFOLD PIPE. SEE SPECIFICATIONS FOR DEPTH REQUIREMENTS
  - SWING JOINT: HUNTER "PRO-FLEX" TUBING. HSBE-050 ELBOWS (2)
  - 1/2" MARLEX STREET EL
  - MULCH LAYER
  - ALTERNATE INSTALL WHEN ATTACHING UNIT TO DRIP TUBING CONTRACTOR MAY INSTALL UNIT USING 1/2" BARBED INSERT FITTINGS AND DRIP POLYETHYLENE TUBING
- NOTES:**
- A. INSTALL ONE (1) ECO-ID WITHIN EACH PLANTER TO SHOW EXTENT OF ZONE WHILE UNDER OPERATION.
- B. DUE TO CLARITY ISSUES ECO-ID SYMBOLS ARE NOT SHOWN ON PLAN.
- C. CONTRACTOR SHALL REVIEW EACH DRIP ZONE AREA AND LAYOUT TO DETERMINE EXACT QUANTITY OF ECO-ID UNITS TO INSTALL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNITS REQUIRED ON THE PROJECT.
- D. IN TURF AREAS INSTALL UNIT 1/2" ABOVE FINISHED GRADE.
- E. IN SHRUB AREAS INSTALL UNIT 1/2" ABOVE SOIL LEVEL OR 1" ABOVE MULCH LAYER, WHICHEVER IS HIGHER.
- F. DUE TO NO FACTORY INSTALLED CHECK VALVE INSTALL AT HIGH POINTS OF ZONE, OR INSTALL HUNTER MANUALLY INSTALLED CHECK VALVE, P/N 462237SP.

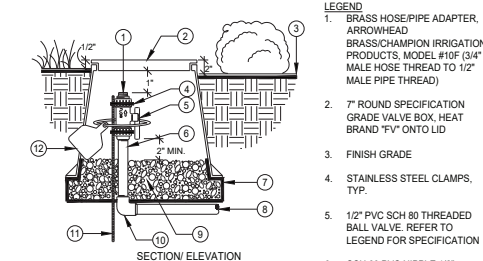
**E DRIP ZONE OPERATION INDICATOR ASSEMBLY**  
SCALE: N.T.S.

- DRIP SYSTEM NOTES:**
- A. EMITTER TABLE AT RIGHT IS ESTIMATED EMITTER QUANTITIES AND FLOWS. CONTRACTOR SHALL INSTALL EMITTERS AS SHOWN AT INITIAL INSTALLATION.
- B. ALL LATERAL LINES FOR DRIP ZONES SHALL BE PVC SCH 40 PIPE.
- C. SUB-LATERAL PIPING AS SHOWN IN DETAIL L1-10/E SHALL BE 1/2" SCH 40 PIPE. "BACKBONE" LATERALS SHALL BE PER PLAN SIZE.
- D. CONTRACTOR TO PROVIDE THE QUANTITY OF EMITTERS BASED ON THE ACTUAL PLANT COUNT AND THE EMITTER TABLE SHOWN AT RIGHT.
- E. VERIFY THE ACTUAL PLANT QUANTITIES AND SIZES FROM THE LANDSCAPE PLANS PRIOR TO BIDDING OR COMMENCING WORK.
- F. POST PLANT INSTALLATION: IT SHALL BE THE RESPONSIBILITY OF LANDSCAPE CONTRACTOR TO REVISE EMITTER SIZES AS MAY BE NEEDED TO PROVIDE ANY WATER VOLUME ADJUSTMENTS FOR HEALTHY PLANT GROWTH. THIS TASK SHALL BE COMPLETED AFTER THREE WEEKS OF PLANT OBSERVATIONS AFTER THE INITIAL INSTALLATION AND AGAIN ONE WEEK BEFORE MAINTENANCE PERIOD IS COMPLETED. THESE EMITTER CHANGES AND FINE TUNE ADJUSTMENTS SHALL BE CARRIED OUT AFTER CONSULTATION AND REVIEW OF WORK NEEDS WITH THE IRRIGATION CONSULTANT AND LANDSCAPE ARCHITECT.



- LEGEND**
- FINISH GRADE
  - MULCH LAYER. REFER TO LANDSCAPE SPECIFICATIONS FOR TYPE AND DEPTH
  - POP-UP SPRINKLER. REFER TO LEGEND FOR TYPE
  - 1/2" MARLEX EL FITTING. PART OF SWING ASSEMBLY.
  - RAIN BIRD MANUFACTURED SWING ASSEMBLY. 12" MIN. LAY LENGTH. SIZE PER SPRINKLER INLET
  - PVC SCH 40 SxSxT TEE OR SxT EL
  - PVC LATERAL PIPE
- NOTES:**
- A. USE TEFLON TAPE ON ALL EXPOSED THREADS.
- B. WHERE A MULCH LAYER IS USED AS GROUND COVER INSTALL TOP OF SPRINKLER BODY 1/2" ABOVE MULCH COVER. AT NO TIME SHALL MULCH BURY THE CAP.
- C. WHEN MULCH LAYER IS NOT PRESENT INSTALL TOP OF SPRINKLER BODY 2" ABOVE FINISH GRADE.
- D. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- E. INSTALL SPRINKLER HEADS 6" FROM PAVING EDGE IN GROUND COVER AREAS.
- F. INSTALL SPRINKLER HEADS 4" FROM PAVING EDGE IN TURF AREAS.
- G. INSTALL SPRINKLER HEADS 12" FROM ALL BUILDINGS, WALLS, AND FENCES.
- H. INSTALL SPRINKLER HEADS PLUMB.
- I. ADJUST SPRAYS OR NOZZLE STREAM TO COVER LANDSCAPE AREA WITHOUT OVERSPRAY ONTO PAVING, FENCES, WALLS, OR BUILDINGS. DO NOT SCALE DRAWINGS.

**C POP-UP SPRINKLER**  
SCALE: N.T.S.



- LEGEND**
- BRASS HOSE/PIPE ADAPTER, ARROWHEAD
  - 7" ROUND SPECIFICATION GRADE VALVE BOX, HEAT BRAND "FV" ONTO LID
  - FINISH GRADE
  - STAINLESS STEEL CLAMPS, TYP.
  - 1/2" PVC SCH 80 THREADED BALL VALVE. REFER TO LEGEND FOR SPECIFICATION
  - SCH 80 PVC NIPPLE 1/2" x LENGTH AS REQUIRED
  - LANDSCAPE FABRIC
  - WHEN USED FOR SUB-SURFACE TUBING DRIP ZONES. REFER TO LEGEND: PVC SCH 40 PIPE FROM DRIP ZONE MANIFOLD "FOOTER" MANIFOLD PIPE SIZE BASED ON ZONE FLOW. REFER TO LEGEND FOR PIPE SIZE.
  - 3/4" CRUSHED GRAVEL, MIN. 5" DEPTH
  - PVC SLIP (LINE SIZE) x 1/2" THREAD ELL (SF)
  - (#3) 3/8" x 24" REBAR STAKE
  - APFURTEANCE PURPLE ID TAG
- NOTES:**
- A. FOR TREE/PALM ZONES: PLACE FLUSH VALVE AT MINIMUM FORTY EIGHT (48") INCHES FROM TREE/PALM ROOT BALL. TYPICAL.
- B. POINT SOURCE DRIP ZONES: INSTALL FROM PVC "BACKBONE" PIPE. SEE DETAIL ON THIS SHEET.
- C. INSTALL ONE (1) FV IN EACH DIRECTION FROM RCV AT MINIMUM. OR AS MANY AS SHOWN ON THE PLAN IN ANY ZONE.
- D. INSTALL IN LOCATIONS AS DESCRIBED IN THE LEGEND. CONTRACTOR SHALL REVIEW TREE DRIP ZONE AREA AND LAYOUT TO DETERMINE EXACT QUANTITY OF FVS TO INSTALL. DUE TO FIELD CHANGES OR OTHER REASONS TOTAL FLUSH VALVE SYMBOLS SHOWN ON PLAN MAY NOT EQUAL TOTAL QUANTITY OF FVS REQUIRED.
- F. SET TOP OF VALVE BOX 1/2" ABOVE FINISHED GRADE IN TURF AREAS.
- G. IN SHRUB AREAS INSTALL VALVE BOX 2" ABOVE SOIL LEVEL OR 1" ABOVE MULCH LAYER, WHICHEVER IS HIGHER.

**F DRIP ZONE FLUSH VALVE ASSEMBLY**  
SCALE: N.T.S.

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**PROJECT**

**PROJECT ADDRESS**

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**PROJECT NOTES**

**REVISIONS**

NO.	DATE	ISSUE
1	2020.08.14	OWNER CHANGES

**DRAWING DESCRIPTION**

IRRIGATION DETAILS

**DRAWING NO.**

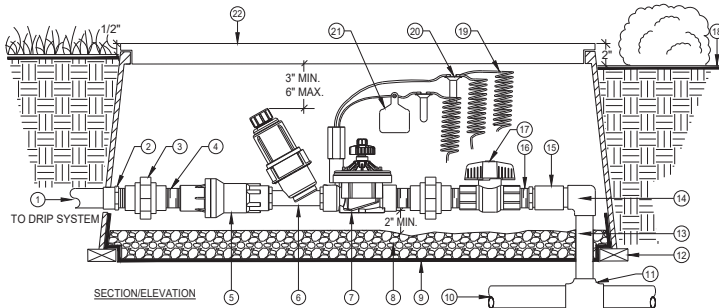
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**PROJECT** 30530.00

**DATE** JULY 15, 2020

**SCALE** N/A

**DRAWN BY** JB

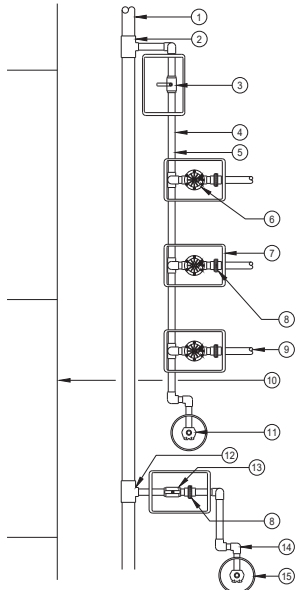


#### LEGEND

1. LATERAL LINE PIPE
2. MALE ADAPTER, SIZE PER DRIP ZONE LATERAL
3. PVC SCH 80 TT UNION, (2 REQ.), SIZE PER RCV. (MAY SUBSTITUTE WITH DURA COUPLING MANIFOLD SYSTEM, PIN 332-010, 332-015, 332-020. WHEN USED SCH 80 UNIONS AND NIPPLES UPSTREAM AND DOWNSTREAM OF RCV ARE NOT REQUIRED)
4. SCH 80 PVC NIPPLE, MIN. SIZE 1"x3", FOUR REQUIRED
5. 40 PSI PRESSURE REGULATOR
6. SCREEN FILTER, WITH #200 SS MESH ELEMENT
7. REMOTE CONTROL VALVE
8. 3/4" CRUSHED GRAVEL, MIN. 5" DEPTH
9. LANDSCAPE FABRIC
10. MAINLINE / MANIFOLD PIPE, DEPTH PER SPECS.
11. MAIN LINE TEE FITTING
12. NOMINAL SIZE SOLID BRICK (MIN. 6 REQ.)
13. SIZE PIPE PER IMMEDIATE DOWNSTREAM LATERAL SIZE
14. PVC EL, SIZE PER #13
15. PVC SS COUPLER, SIZE PER IMMEDIATE RCV LATERAL, OR (USE MALE ADAPTER, #16 NOT REQUIRED)
16. SCH 40 BUSHING, 6xT
17. PVC BALL VALVE, RCV SIZE. REFER TO LEGEND FOR SPECIFICATION. USE ONLY REQUIRED WHEN RCV ASSEMBLY IS NOT PART OF A MANIFOLD
18. FINISH GRADE
19. CONTROL WIRES PROVIDE 24" COIL OF WIRE AT VALVE
20. CONTROL WIRE SPLICE CONNECTION
21. RCV ID TAG
22. RAIN BIRD JUMBO RECTANGULAR VALVE BOX HEAT BRANDED WITH "RCV" AND ZONE # ON LID

### RCV ASSEMBLY - DRIP SYSTEMS

SCALE: N.T.S.

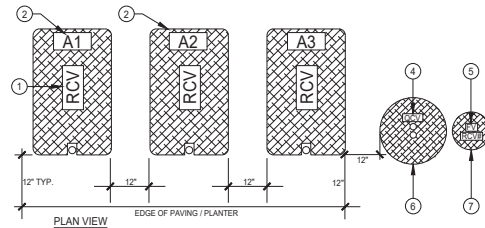


#### LEGEND

1. IRRIGATION MAINLINE
2. MAINLINE TEE FITTING, MAINLINE x MANIFOLD SIZE
3. MANIFOLD ISOLATION VALVE. REFER TO LEGEND FOR TYPE, MANIFOLD SIZE
4. ALL VALVE BOXES TO HAVE A MINIMUM 12" SEPARATION BETWEEN BOXES
5. IRRIGATION MANIFOLD "SUB-MAINLINE" PIPE. SIZE PER LARGEST LATERAL PIPE
6. REMOTE CONTROL VALVE
7. RECTANGULAR SPECIFICATION GRADE VALVE BOX. REFER TO LEGEND FOR TYPE
8. PVC SCH 80 UNION, ONE OR TWO REQUIRED. SEE RCV INSTALLATION DETAILS
9. LATERAL LINE TO SPRINKLERS
10. SIDEWALK / HARDSCAPE EDGE. INSTALL BOXES 12"-16" FROM EDGE
11. QUICK COUPLER VALVE
12. MAINLINE TEE FITTING, MAINLINE x 1-1/2" SIZE
13. QCV MANIFOLD ISOLATION BALL VALVE. REFER TO LEGEND FOR TYPE
14. QUICK COUPLER SWING JOINT
15. 10" ROUND SPECIFICATION GRADE VALVE BOX. REFER TO LEGEND FOR TYPE

### MANIFOLD LAYOUT

SCALE: N.T.S.



#### NOTES:

- A. SPECIFICATION GRADE VALVE BOXES BY RAIN BIRD ONLY.
- B. VALVE BOXES SHALL BE LABELED BY HOT IRON BRANDING.
- C. LOCATE VALVE ASSEMBLIES 18"-24" FROM HARDSCAPE.
- D. LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- E. CENTER VALVE BOXES OVER VALVE TO FACILITATE SERVICING VALVE.
- F. SET RCV AND VALVE ASSEMBLIES IN GROUND-COVER/SHRUB AREA WHERE POSSIBLE.
- G. SET BOXES AT EQUAL ELEVATIONS W/ TOPS AT 2" ABOVE MULCH IN SHRUBS AND 1/2" ABOVE FINISH GRADE IN TURF.
- H. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.
- I. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOXES.

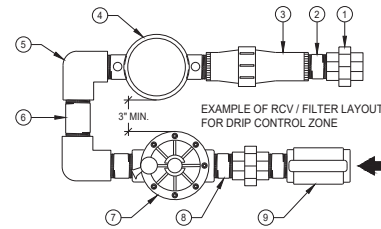
- |          |                       |     |                      |
|----------|-----------------------|-----|----------------------|
| ARV      | AIR RELIEF VALVE      | FV  | FLUSH VALVE          |
| BS       | BASKET STRAINER       | GV  | GATE VALVE           |
| BV       | BALL VALVE            | GRD | GROUND ROD           |
| CCC      | COMMUNICATION SPLICES | MS  | MOISTURE SENSOR      |
| DRIP     | TREE DRIP             | MV  | MASTER VALVE         |
| MANIFOLD | MANIFOLD              | SB  | SPLICE BOX           |
| FI       | FERTILIZER INJECTOR   | RCV | REMOTE CONTROL VALVE |
| FS       | FLOW SENSOR           | QCV | QUICK COUPLER VALVE  |

#### LEGEND

1. "RCV" HEAT BRANDED ON VALVE BOX LID
2. APPROPRIATE CONTROLLER AND STATION NUMBER HEAT BRANDED ON VALVE BOX LID
3. RECTANGULAR SPECIFICATION GRADE VALVE BOX, TYP.
4. "QCV" HEAT BRANDED ON VALVE BOX LID
5. "FV" WITH DRIP ZONE RCV STATION NUMBER HEAT BRANDED ON ALL DRIP SYSTEM FLUSH VALVE BOX LIDS
6. 10" ROUND SPECIFICATION GRADE QUICK COUPLER VALVE BOX, TYP.
7. 7" ROUND DRIP VALVE BOX, TYP.
8. "DRIP" WITH TREE DRIP ZONE RCV STATION NUMBER HEAT BRANDED ON ALL TREE DRIP MANIFOLD BOX LIDS

### VALVE BOX LOCATION / MARKING

SCALE: N.T.S.



#### NOTE:

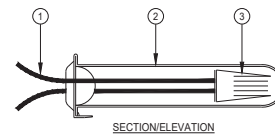
- A. TO INSURE ALL COMPONENTS RESIDE WITHIN SPECIFIED VALVE BOX CONTRACTOR MAY INSTALL DRIP RCV ASSEMBLY AS SHOWN.
- B. REFER TO DETAIL L1-5.02/D FOR VALVE BOX INSTALLATION.

#### LEGEND

1. 1" PVC SCH 80 UNION, (2 REQ.)
2. SCH 80 NIPPLE, 1" x CL, (2 REQ.)
3. 1" NETA-FIM 40 PSI PRESSURE REGULATOR, MODEL WRPR1-40
4. 1" NETA-FIM DISC FILTER WITH 140 MESH (BLK) RINGS, MODEL DF100-140
5. 1" SCH 80 TT EL (2 REQ.)
6. SCH 80 NIPPLE, 1" x SIZE AS REQUIRED TO HAVE SEPARATION OF RCV AND FILTER
7. 1" REMOTE CONTROL VALVE
8. SCH 80 NIPPLE, 1" x 2", (3 REQ.)
9. 1" THREADED PVC BALL VALVE. REFER TO LEGEND FOR SPECIFICATION

### DRIP RCV ASSEMBLY ALTERNATE INSTALLATION

SCALE: N.T.S.

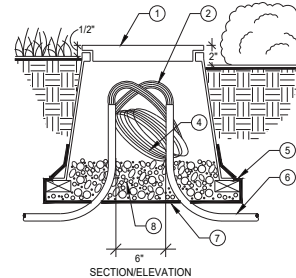


#### LEGEND

1. LOW VOLTAGE WIRES
2. POLY TUBE PRE-FILLED WITH WATERPROOF GEL
3. WIRE CONNECTOR. WIRES SHALL BE PRE-STRIPPED OF 1/2" OF THE INSULATION PRIOR TO INSERTION INTO THE CONNECTOR. TWIST CONNECTOR ONTO WIRES TO SEAT FIRMLY

### WIRE CONNECTION

SCALE: N.T.S.



#### NOTES:

- A. PROVIDE WIRE JUNCTION/PULL BOX AT EVERY CHANGE OF DIRECTION AND AT MAXIMUM 200 FOOT INTERVALS.
- B. SET TOP OF VALVE BOX 1/2" ABOVE FINISHED GRADE IN TURF AREAS.
- C. IN SHRUB AREAS INSTALL VALVE BOX 2" ABOVE SOIL LEVEL OR 1/2" ABOVE MULCH LAYER, WHICHEVER IS HIGHER.

### WIRE PULL BOX

SCALE: N.T.S.



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#### PROJECT

**Zumirez**

#### PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

#### PROJECT NOTES

#### REVISION SUMMARY

NO.	DATE	ISSUE
2020.08.14	OWNER CHANGES	

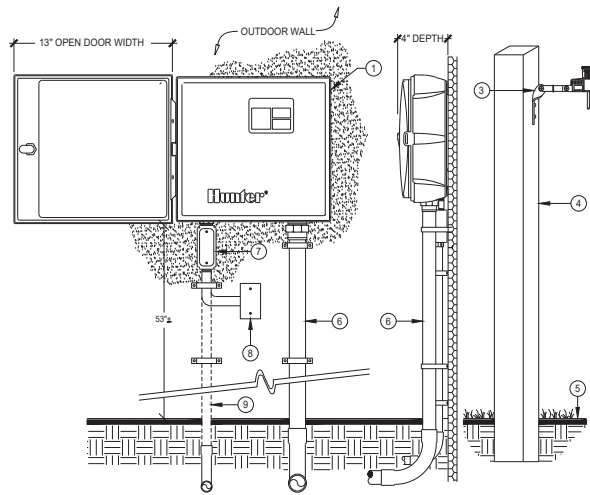
#### DRAWING DESCRIPTION

IRRIGATION DETAILS

#### DRAWING NO.

**L6.9**

PROJECT	30530.00
DATE	JULY 15, 2020
SCALE	N/A
DRAWN BY	JB

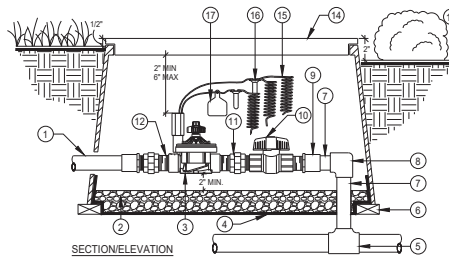


#### NOTES:

- MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL.
- FOR EASE OF INSTALLATION INTO A CONTROLLER, CONTRACTOR MAY INSTALL A JUNCTION BOX AT THE BASE OF CONTROLLER AND TRANSITION LARGER VALVE AND COMMON WIRES FROM FIELD TO 18 AWG MULTI CONDUCTOR WIRE TO BE USED IN CONTROLLER.
- USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.
- PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.
- INSTALL CONTROLLER IN A LOCATION TO MAXIMIZE WIFI MODULE RECEPTION.
- CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE FOR DETERMINATION OF EXACT WIRELESS RAIN SENSOR PLACEMENT LOCATION.
- IT IS RECOMMENDED THAT THE WIRELESS CONTROLLER INTERFACE BE INSTALLED AWAY FROM SOURCES OF ELECTRICAL INTERFERENCE (SUCH AS TRANSFORMERS, GENERATORS, PUMPS, FANS, ELECTRICAL METER BOXES) AND METAL OBJECTS TO MAXIMIZE COMMUNICATION RANG.

#### LEGEND

- HUNTER PRO-HC OUTDOOR WALL MOUNT CONTROLLER. SEE IRRIGATION PLAN FOR NUMBER OF STATIONS FOR EACH LOT. SECURE TO WALL WITH APPROPRIATE FASTENERS
- HUNTER WIRELESS RAIN SENSOR CONTROLLER INTERFACE. INSTALL ADJACENT TO CONTROLLER
- HUNTER WIRELESS RAIN SENSOR. INSTALL SENSOR UP TO 500' FROM CONTROLLER (LINE OF SIGHT). PRACTICAL INSTALLATION - UP TO 200'
- SUITABLE POST, POLE, OR ROOF GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN. IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
- FINISH GRADE
- LOW VOLTAGE CONTROL WIRE IN RIGID PVC CONDUIT WITH PVC ELECTRICAL SWEEP EL. SECURE TO WALL WITH APPROPRIATE PIPE CLAMPS
- 120V POWER SOURCE. INSTALL IN RIGID ELECTRICAL CONDUIT WITH CONDUIT FOR ELECTRICAL POWER PER LOCAL AND NATIONAL ELECTRICAL CODES. SECURE TO WALL WITH APPROPRIATE PIPE CLAMPS
- 120 VOLT POWER SUPPLY J-BOX. BY OTHERS AS REQUIRED. REFER TO ELECTRICAL PLAN
- RIGID ELECTRICAL CONDUIT (1/2") FOR UNDERGROUND RUN IF SPECIFIED BY OTHERS. REFER TO ELECTRICAL PLAN



#### NOTES:

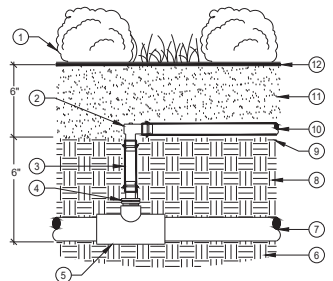
- SET TOP OF VALVE BOX 1/2" ABOVE FINISHED GRADE IN TURF AREAS.
- IN SHRUB AREAS INSTALL VALVE BOX 2" ABOVE SOIL LEVEL OR 1" ABOVE MULCH LAYER, WHICHEVER IS HIGHER.

#### LEGEND

- PVC LATERAL LINE PIPE TO ZONE
- 3/4" CRUSHED GRAVEL, MIN. 5'-6" DEPTH
- REMOTE CONTROL VALVE, REFER TO LEGEND FOR SPECIFICATION
- LANDSCAPE FABRIC
- PVC SCH 40 MAINLINE TEE/EL FITTING
- SOLID BRICK, NOMINAL SIZE (MIN. 4 REQ.)
- PVC PIPE, MINIMUM PRESSURE RATING-315 PSI, SIZE PER IMMEDIATE DOWNSTREAM RCV LATERAL SIZE
- PVC SCH 80 SS EL, SIZE PER #7
- SCH 40 PVC MALE ADAPTER MPT x SUP, OR REDUCING MA. THREAD SIZE PER RCV THREAD SIZE
- RCV ISOLATION VALVE. RCV SIZE. REFER TO
- PVC SCH 80 TT UNION, (2 REQ.) SIZE PER RCV, (MAY SUBSTITUTE WITH DURA COUPLING MANIFOLD SYSTEM, P/N 332-010, 332-015, 332-020. WHEN USED SCH 80 UNIONS AND NIPPLES UPSTREAM AND DOWNSTREAM OF RCV ARE NOT REQUIRED)
- PVC SCH 80 PVC NIPPLE, RCV SIZE, MIN. LENGTH 3" (2 REQ.)
- FINISH GRADE
- RAIN BIRD RECTANGULAR SPECIFICATION GRADE VALVE BOX WITH BOLT DOWN "T" COVER. HEAT BRAND "RCV" AND ZONE # ON LID
- CONTROL WIRES. PROVIDE 24" COIL OF WIRE AT VALVE
- CONTROL WIRE SPLICE CONNECTION
- RCV ID TAG

### B RCV ASSEMBLY FOR OVERHEAD SYSTEMS

SCALE: N.T.S.



#### NOTES:

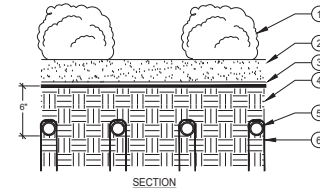
- REFER TO LEGEND FOR MAXIMUM DRIPLINE TUBING SPACING.
- LAY DEPTH FOR DRIPLINE SHALL BE 6 INCHES BELOW AMENDED SOIL FINISH GRADE.
- INSTALL FIRST ROW OF DRIPLINE TUBING 6 INCHES FROM ANY HARDSCAPE EDGE.

#### LEGEND

- SHRUBS/GROUND COVER
- 17mm BARB 90 ELBOW FITTING, REFER TO LEGEND FOR SPECIFICATION
- 1/2" BLANK POLY TUBING, REFER TO LEGEND FOR SPECIFICATION
- 1/2" MPT x 17mm BARB ADAPTER, REFER TO LEGEND FOR SPECIFICATION
- PVC SCH 40 SST TEE/EL FITTING, LINE SIZE X 1/2"
- SITE SOIL
- PVC SUPPLY / EXHAUST MANIFOLD HEADER LATERAL LINE
- SCREENED BACKFILL MATERIAL
- SUB-GRADE
- 17mm DRIPLINE TUBING, REFER TO LEGEND FOR SPECIFICATION
- AMENDED SOIL. REFER TO PLANTING DRAWINGS FOR SPECIFICATION
- FINISH GRADE

### D DRIPLINE- PVC / DRIPLINE MANIFOLD

SCALE: N.T.S.

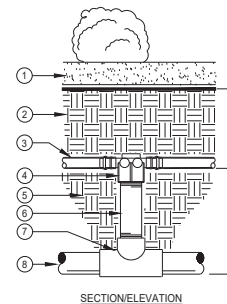


#### NOTES:

- TO INSURE EVEN PARALLEL AND LEVEL TUBING ROWS IT IS RECOMMENDED THAT THE SOIL LEVEL IN THE PLANTER AREAS BE BROUGHT TO SIX INCHES BELOW FINISH GRADE, LEVELED, AND PROPERLY COMPACTED AS PER THE LANDSCAPED DRAWINGS PRIOR TO THE INSTALLATION OF THE TUBING.
- INSTALL TUBING AS INDICATED ON THESE DRAWINGS AND SECURE TO GRADE USING GALVANIZED WIRE HOOP STAKES AT 4 O.C. SPACING.

### C DRIPLINE INSTALLATION

SCALE: N.T.S.



#### LEGEND

- MULCH LAYER, REFER TO LANDSCAPE DRAWINGS FOR TYPE AND DEPTH
- AMENDED SOIL, REFER TO LANDSCAPE DRAWINGS FOR SPECIFICATION
- SUB-SURFACE DRIPLINE TUBING. REFER TO LEGEND FOR SPECIFICATION
- 17mm BARB TEE x 3/4" THRD. REFER TO LEGEND FOR SPECIFICATION
- AMENDED SOIL / BACKFILL MATERIAL
- 3/4" SCH 80 PVC NIPPLE, LENGTH AS REQUIRED
- SCH 40 PVC TEE SxSxT, LINE SIZE BY 3/4"
- PVC SUPPLY MANIFOLD HEADER LATERAL LINE

### E DRIPLINE- CENTER HEADER FEED PVC/DRIPLINE CONNECT

SCALE: N.T.S.



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#### PROJECT

## Zumirez

#### PROJECT ADDRESS

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#### PROJECT NOTES

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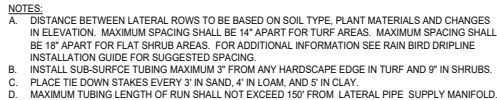
L6.10

PROJECT 30530.00

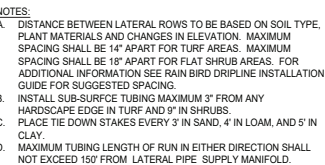
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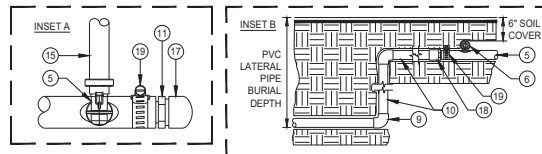
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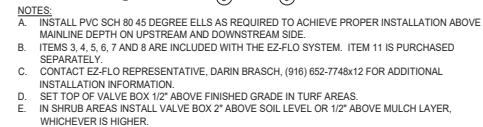
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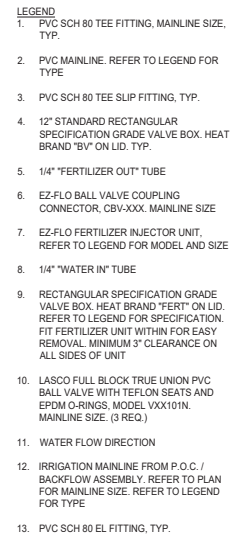
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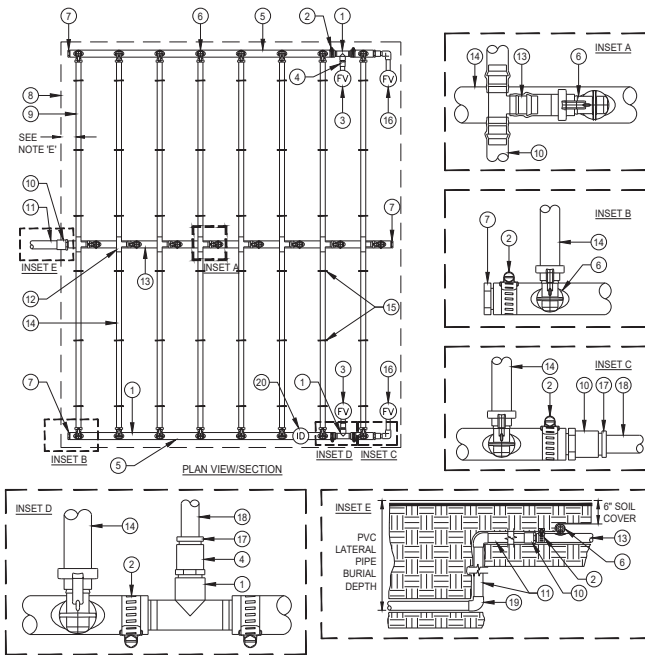
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SCALE: N.T.S



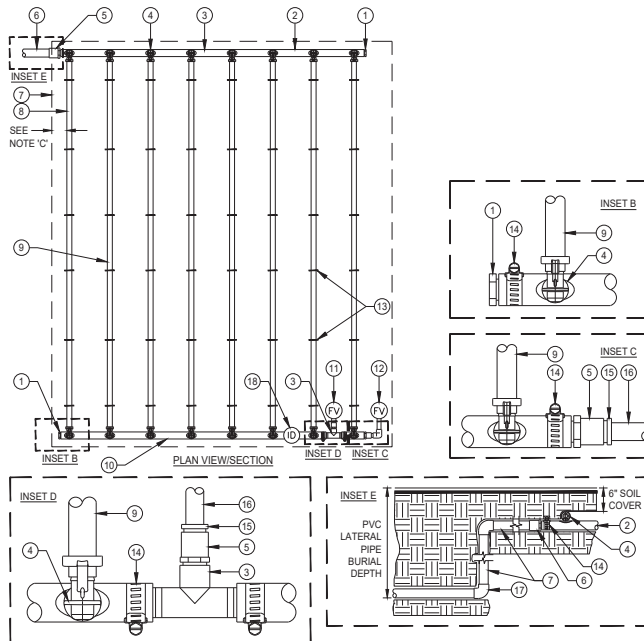
SCALE: N.T.S



- NOTES:**
- RAIN BIRD "QF" DRIPLINE HEADER -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS 6 GPM OR LESS.
  - RAIN BIRD "QF" DRIPLINE HEADER -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 7 GPM TO 11 GPM MAXIMUM FLOW. FOR ZONES HIGHER THAN 11 GPM, UP TO 21 GPM FLOW THE USE OF TWO HEADERS INSTALLED IN PARALLEL ARE REQUIRED, OR USE 1-1/4" PVC PIPE. HIGHER FLOW THAN 21 GPM USE 1-1/2" PVC PIPE.
  - QF-DRIPLINE HEADER SHALL ALWAYS BE INSTALLED AT DEPTH TO ACCOMMODATE THE 6" INSTALLATION DEPTH FOR THE SUB-SURFACE DRIPLINE TUBING.
  - DISTANCE BETWEEN LATERAL ROWS TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. MAXIMUM SPACING SHALL BE 12" APART FOR TURF AREAS. MAXIMUM SPACING SHALL BE 18" APART FOR FLAT SHRUB AREAS.
  - INSTALL SUB-SURFACE TUBING MAXIMUM 3" FROM ANY HARDSCAPE EDGE IN TURF AND 9" IN SHRUBS.
  - AIR RELEASE / VACUUM VALVE WHERE SHOWN IS DIAGRAMMATIC ONLY. CONTRACTOR MUST INSTALL AT HIGHEST POINT IN ZONE SECTION AREA FOR PROPER VACUUM RELEASE ACTION.
  - MAXIMUM TUBING LENGTH OF RUN IN EITHER DIRECTION OF SUPPLY MANIFOLD SHALL NOT EXCEED 150' FROM SUPPLY MANIFOLD.

- LEGEND**
- PVC INSERT REDUCING TEE, SPEARS, MODEL 1402-101 OR 1402-130. (X" x 1/2") SIZED TO FIT QF DRIPLINE HEADER
  - STAINLESS STEEL CLAMP, OETIKER OR MURRAY TYPE
  - FLUSH VALVE ASSEMBLY WITHIN 7" ROUND BOX. (INSTALLATION FOR TURF ZONE, TYP.) REFER TO LEGEND FOR SPECIFICATION
  - PVC 1/2" MALE ADAPTER (MIPXTS0C), SPEARS, MODEL 436-005
  - RAIN BIRD "QF" DRIPLINE EXHAUST HEADER: -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS LESS THAN 12 GPM -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 12 GPM TO 22 GPM
  - PRE-INSTALLED BARB FITTING (TYP.)
  - PVC INSERT PLUG, SPEARS, MODEL 1449-007 OR 1449-010. SIZED TO FIT QF DRIPLINE HEADER. SEE INSET 'A'
  - EDGE OF PERIMETER (PLANTER) AREA
  - PERIMETER DRIPLINE TO BE INSTALLED MAXIMUM OF 3" FROM EDGE OF PERIMETER IN TURF AND 9" FROM EDGE OF PERIMETER IN SHRUB AREA
  - PVC INSERT MALE ADAPTER (BARB X SOC), SPEARS, MODEL 474-007 (3/4") OR 474-010 (1"). SIZED TO FIT QF DRIPLINE HEADER
  - PVC SUPPLY PIPE FROM RCV (SIZED TO MEET LATERAL FLOW DEMAND. REFER TO PLAN FOR SIZE). INSTALL AT PVC LATERAL PIPE DEPTH PER SPECIFICATIONS
  - BARB INSERT FITTING: RAIN BIRD, XFF-TEE. SEE INSET 'A'
  - RAIN BIRD "QF" DRIPLINE SUPPLY HEADER: -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS 6 GPM OR LESS -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 7 GPM TO 11 GPM
  - SUB-SURFACE DRIPLINE TUBING. REFER TO LEGEND FOR SPECIFICATION
  - GALVANIZED TIE-DOWN STAKE, RAIN BIRD, MODEL TDS-050. (TYPICAL) REFER TO LEGEND FOR SPACING
  - FLUSH VALVE ASSEMBLY WITHIN 7" ROUND BOX. (INSTALLATION IN SHRUB PLANTER, TYP.) REFER TO LEGEND FOR SPECIFICATION
  - PVC SCH 40 REDUCER BUSHING (1"x1/2" or 3/4"x1/2")
  - PVC PIPE TO FLUSH VALVE ASSEMBLY. REFER TO FV ASSEMBLY DETAIL FOR ASSEMBLY CONSTRUCTION
  - PVC SCH 40 ELL (TYP.)
  - ECO-ID ZONE OPERATION INDICATOR

**A** DRIPLINE- CENTER FEED LAYOUT W/ RAIN BIRD QF HEADER  
SCALE: N.T.S.



- NOTES:**
- RAIN BIRD "QF" DRIPLINE HEADER -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS 6 GPM OR LESS.
  - RAIN BIRD "QF" DRIPLINE HEADER -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 7 GPM TO 11 GPM MAXIMUM FLOW. FOR ZONES HIGHER THAN 11 GPM, UP TO 21 GPM FLOW THE USE OF TWO HEADERS INSTALLED IN PARALLEL ARE REQUIRED, OR USE 1-1/4" PVC PIPE. HIGHER FLOW THAN 21 GPM USE 1-1/2" PVC PIPE.
  - QF-DRIPLINE HEADER SHALL ALWAYS BE INSTALLED AT DEPTH TO ACCOMMODATE THE 6" INSTALLATION DEPTH FOR THE SUB-SURFACE DRIPLINE TUBING.
  - DISTANCE BETWEEN LATERAL ROWS TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. MAXIMUM SPACING SHALL BE 12" APART FOR TURF AREAS. MAXIMUM SPACING SHALL BE 18" APART FOR FLAT SHRUB AREAS.
  - INSTALL SUB-SURFACE TUBING MAXIMUM 3" FROM ANY HARDSCAPE EDGE IN TURF AND 9" IN SHRUBS.
  - AIR RELEASE / VACUUM VALVE WHERE SHOWN IS DIAGRAMMATIC ONLY. CONTRACTOR MUST INSTALL AT HIGHEST POINT IN ZONE SECTION AREA FOR PROPER VACUUM RELEASE ACTION.
  - MAXIMUM TUBING LENGTH OF RUN IN EITHER DIRECTION OF SUPPLY MANIFOLD SHALL NOT EXCEED 200' FROM SUPPLY MANIFOLD.

- LEGEND**
- PVC INSERT PLUG, SPEARS, MODEL 1449-007 OR 1449-010. SIZED TO FIT QF DRIPLINE HEADER. SEE INSET 'A'
  - RAIN BIRD "QF" DRIPLINE SUPPLY HEADER: -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS 6 GPM OR LESS -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 7 GPM TO 11 GPM
  - PVC INSERT REDUCING TEE, SPEARS, MODEL 1402-101 OR 1402-130. (X" x 1/2") SIZED TO FIT QF DRIPLINE HEADER
  - PRE-INSTALLED BARB FITTING (TYP.)
  - PVC INSERT MALE ADAPTER (BARB X SOC), SPEARS, MODEL 474-007 (3/4") OR 474-010 (1"). SIZED TO FIT DRIPLINE HEADER
  - PVC SUPPLY PIPE FROM RCV (SIZED TO MEET LATERAL FLOW DEMAND. REFER TO PLAN FOR SIZE). INSTALL AT PVC LATERAL PIPE DEPTH PER SPECIFICATION
  - EDGE OF PERIMETER (PLANTER) AREA
  - PERIMETER DRIPLINE TO BE INSTALLED MAXIMUM OF 3" FROM EDGE OF PERIMETER IN TURF AND 9" FROM EDGE OF PERIMETER IN SHRUB AREAS
  - SUB-SURFACE DRIPLINE TUBING. REFER TO LEGEND FOR SPECIFICATION
  - QF-MANIFOLD EXHAUST HEADER: -USE 3/4" FOR ZONE OR 'ZONE SECTION' FLOWS LESS THAN 10 GPM -USE 1" FOR ZONE OR 'ZONE SECTION' FLOWS 11 GPM TO 15 GPM
  - FLUSH VALVE ASSEMBLY (TYP.) WITHIN 7" ROUND BOX. (INSTALLATION FOR TURF ZONE, TYP.) REFER TO LEGEND FOR SPECIFICATION
  - FLUSH VALVE ASSEMBLY WITHIN 7" ROUND BOX. (INSTALLATION IN SHRUB PLANTER, TYP.) REFER TO LEGEND FOR SPECIFICATION
  - GALVANIZED TIE-DOWN STAKE, RAIN BIRD, MODEL TDS-050. REFER TO LEGEND FOR SPACING
  - STAINLESS STEEL CLAMP, OETIKER OR MURRAY TYPE
  - PVC REDUCER BUSHING, SPEARS, MODEL 437-101 or 437-130. SIZED TO FIT INSERT ADAPTER (3/4"x1/2" or 1"x1/2")
  - 1/2" PVC PIPE TO FLUSH VALVE ASSEMBLY. REFER TO FV ASSEMBLY DETAIL FOR ASSEMBLY CONSTRUCTION
  - PVC SCH 40 ELL (TYP.)
  - ECO-ID ZONE OPERATION INDICATOR

**B** DRIPLINE- END FEED LAYOUT W/ RAIN BIRD QF HEADER  
SCALE: N.T.S.



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RECEIPT AND HOLD HARMLESS GAI FOR ALL COSTS AND

PROJECT

**Zumirez**

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES



REVISION SUMMARY

NO.	DATE	ISSUE
	2020.08.14	OWNER CHANGES

DRAWING DESCRIPTION

IRRIGATION DETAILS

DRAWING NO.

**L6.12**

PROJECT

30530.00

DATE

JULY 15, 2020

SCALE

N/A

DRAWN BY

JB

SECTION 0210  
IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

- A. FURNISH ALL MATERIALS, LABOR, TRANSPORTATION, SERVICES, AND EQUIPMENT NECESSARY TO INSTALL LANDSCAPE IRRIGATION AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.

1.2 DEFINITIONS

- A. THE OWNER'S AUTHORIZED REPRESENTATIVE IN THIS SECTION WILL REFER TO THE LANDSCAPE ARCHITECT.

1.3 REQUIREMENTS OF REGULATORY AGENCIES

- A. ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THIS SPECIFICATION, AND ITS PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THIS SPECIFICATION SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS OR REQUIREMENTS OF THE SAME. HOWEVER, WHEN THE DRAWINGS AND SPECIFICATIONS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD, OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THE PROVISIONS OF THE DRAWINGS AND SPECIFICATIONS SHALL TAKE PRECEDENCE.

1.4 QUALITY CONTROL

- A. MANUFACTURER'S DIRECTIONS
1. THE MANUFACTURER'S DIRECTIONS AND DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS SPECIFICATION, FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
- B. PERMITS, FEES, BONDS AND INSPECTIONS
1. THE CONTRACTOR SHALL PAY FOR ANY AND ALL PERMITS, FEES, BONDS AND INSPECTIONS NECESSARY TO PERFORM AND COMPLETE HIS PORTION OF THE WORK.
- C. EXPLANATION OF THE DRAWINGS
1. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC. AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. THE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
2. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES OR DETAILS SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THIS SPECIFICATION.
3. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.

1.5 SUBMITTALS

- A. MATERIALS LIST
1. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS, OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
2. COMPLETE MATERIAL LIST SHALL BE SUBMITTED PRIOR TO PERFORMING ANY WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBER AND DESCRIPTION OF ALL MATERIALS AND

EQUIPMENT TO BE USED. ALTHOUGH MANUFACTURER AND OTHER INFORMATION MAY BE DIFFERENT, THE FOLLOWING IS A GUIDE TO PROPER SUBMITTAL FORMAT:

ITEM NO. DESCRIPTION

MANUFACTURER MODEL NO.

1. BACKFLOW ASSEMBLY FEBCO 825Y
2. GATE VALVE INCO T-11
3. ETC. ETC. ETC.

THE IRRIGATION SUBMITTAL LIST MUST BE SPECIFIC AND COMPLETE. ALL ITEMS MUST BE LISTED AND SHOULD INCLUDE THE MANUFACTURER'S LITERATURE (CATALOG CUTS) ARE REQUIRED AS SUBMITTAL INFORMATION.

3. THE CONTRACTOR MAY SUBMIT SUBSTITUTIONS FOR EQUIPMENT AND MATERIALS LISTED ON THE DRAWINGS BY FOLLOWING PROCEDURES AS OUTLINED IN SECTION 1.6 OF THIS SPECIFICATION.
4. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE SUCH MATERIALS FROM THE SITE AT NO COST TO THE OWNER.
5. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION OR SAMPLES SUBMITTED.

6. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.

B. RECORD DRAWINGS OR "AS-BUILTS"

1. THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AT ALL TIMES, A COMPLETE RECORD SET "AS-BUILTS" OF BLUE LINE OZALID PRINTS WHICH SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS AND SPECIFICATIONS AND THE EXACT INSTALLED LOCATIONS, SIZES, AND KINDS OF EQUIPMENT. PRINTS FOR THIS PURPOSES MAY BE OBTAINED FROM THE OWNER'S AUTHORIZED REPRESENTATIVE AT THE CONTRACTOR'S COST. "AS-BUILTS" SHALL BE KEPT ON THE SITE AND SHALL BE USED ONLY AS A RECORD SET.
2. "AS-BUILTS" SHALL ALSO SERVE AS WORK PROGRESS SHEETS AND SHALL BE THE BASIS FOR MEASUREMENT AND PAYMENT FOR WORK COMPLETED. "AS-BUILTS" SHALL BE AVAILABLE AT ALL TIMES FOR OBSERVATION AND SHALL BE KEPT IN A LOCATION EASILY ACCESSIBLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD THE "AS-BUILT" PROGRESS SHEETS NOT BE AVAILABLE FOR REVIEW OR NOT CURRENT AT THE TIME OF ANY SITE VISIT BY THE OWNER'S AUTHORIZED REPRESENTATIVE, IT WILL BE ASSUMED NO WORK HAS BEEN COMPLETED AND THE CONTRACTOR WILL BE ASSESSED THE COST OF THAT SITE VISIT AT THE CURRENT BILLING RATE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. NO OTHER SITE OBSERVATIONS SHALL TAKE PLACE WITHOUT PRIOR PAYMENT OF THIS ASSESSMENT.

3. THE CONTRACTOR SHALL MAKE NEAT AND LEGIBLE NOTATIONS ON THE "AS-BUILT" PROGRESS SHEETS DAILY AS THE WORK PROCEEDS, SHOWING THE WORK AS ACTUALLY INSTALLED. FOR EXAMPLE, SHOULD A PIECE OF EQUIPMENT BE INSTALLED IN A LOCATION THAT DOES NOT MATCH THE DRAWINGS, THE CONTRACTOR MUST INDICATE THAT EQUIPMENT HAS BEEN RELOCATED IN A GRAPHIC MANNER SO AS TO MATCH THE ORIGINAL SYMBOLS AS INDICATED IN THE IRRIGATION LEGEND, THE RELOCATED EQUIPMENT AND DIMENSIONS WILL THEN BE TRANSFERRED TO THE ORIGINAL "AS-BUILTS" AT THE PROPER TIME.

4. BEFORE THE DATE OF THE FINAL WALKTHROUGH, THE CONTRACTOR SHALL TRANSFER ALL INFORMATION FROM THE "AS-BUILT" PRINTS TO SEPIA MYLAR PLANS PROCURED FROM THE OWNER'S AUTHORIZED REPRESENTATIVE AT THE CONTRACTOR'S COST. ALL DRAFTING SHALL BE DONE WITH WATERPROOF TECHNICAL PEN INK AND APPLIED TO THE SEPIA MYLAR BY TECHNICAL DRAFTING PENS MADE EXPRESSLY FOR USE ON MYLAR SURFACES. DIMENSIONS SHALL BE

MADE ON THE SEPIA MYLAR SO AS TO BE EASILY READABLE EVEN IN THE FINAL IRRIGATION CONTROLLER CHART. THE ORIGINAL SEPIA MYLAR "AS-BUILTS" SHALL BE SUBMITTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL PRIOR TO THE MAKING OF THE IRRIGATION CONTROLLER CHARTS.

5. THE CONTRACTOR SHALL DIMENSION FROM TWO (2) PERMANENT POINTS OF REFERENCE, BUILDING CORNERS, SIDEWALK, OR ROAD INTERSECTIONS, ETC., THE LOCATION OF THE FOLLOWING ITEMS:
- a. CONNECTION TO EXISTING WATER LINES.
- b. CONNECTION TO EXISTING ELECTRICAL POWER.
- c. GATE VALVES.
- d. ROUTING OF SPRINKLER PRESSURE LINES.
- e. SPRINKLER CONTROL VALVES.

- f. ROUTING OF CONTROL WIRING.
- g. QUICK COUPLING VALVES.
- h. BACKFLOW PREVENTER.
- i. OTHER RELATED EQUIPMENT.
6. PRIOR TO THE DATE OF THE FINAL WALKTHROUGH, THE CONTRACTOR SHALL DELIVER THE CORRECTED AND COMPLETED SEPIA MYLAR "AS-BUILTS" TO THE OWNER'S AUTHORIZED REPRESENTATIVE. DELIVERY OF THE SEPIA "AS-BUILTS" WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING REQUIRED INFORMATION THAT MAY BE OMITTED FROM THE "AS-BUILTS."

C. IRRIGATION CONTROLLER CHARTS

1. "AS-BUILT" DRAWINGS SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE BEFORE IRRIGATION CONTROLLER CHARTS ARE PREPARED.
2. PROVIDE ONE IRRIGATION CONTROLLER CHART FOR EACH IRRIGATION CONTROLLER SURFACE SUPPLIED.
3. EACH IRRIGATION CONTROLLER CHART SHALL SHOW THE AREA CONTROLLED BY THAT IRRIGATION CONTROLLER AND SHALL BE THE MAXIMUM SIZE OF WHICH THE IRRIGATION CONTROLLER DOOR WILL ALLOW.
4. THE IRRIGATION CONTROLLER CHART IS TO BE A REDUCED DRAWING OF THE ACTUAL INSTALLED IRRIGATION SYSTEM. IN THE EVENT THAT THE IRRIGATION CONTROLLER CHART IS NOT LEGIBLE WHEN THE CHART IS REDUCED, IT MAY BE ELARGED TO A SIZE THAT WILL BE READABLE WHEN REDUCED.
5. THE IRRIGATION CONTROLLER CHART SHALL BE A 11" x 17" XEROX BOND REDUCTION WITH EACH VALVE STATION REPRESENTED BY A DIFFERENT COLOR.
6. WHEN COMPLETED, HERMETICALLY SEAL THE IRRIGATION CONTROLLER CHART BETWEEN TWO PIECES OF 3 MIL PLASTIC WITH A 1/8" EDGE GLUE.
7. IRRIGATION CONTROLLER CHARTS SHALL BE COMPLETED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO THE FINAL WALK-THROUGH.

- D. OPERATION AND MAINTENANCE MANUALS
1. PREPARE AND DELIVER TO THE OWNER'S AUTHORIZED REPRESENTATIVE WITHIN 10 CALENDAR DAYS PRIOR TO COMPLETION OF IRRIGATION INSTALLATION, TWO (2) 3-RING HARD COVER BINDERS EACH CONTAINING THE FOLLOWING INFORMATION:
- a. INDEX SHEETS STATING THE CONTRACTOR'S ADDRESS AND TELEPHONE NUMBER AND A LIST OF EQUIPMENT WITH THE NAME AND ADDRESSES OF LOCAL MANUFACTURER'S REPRESENTATIVES.
- b. CATALOG AND PART SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED UNDER THIS CONTRACT.
- c. GUARANTEE AND MAINTENANCE MANUAL.
- d. COMPLETE OPERATING AND MAINTENANCE INSTRUCTION ON ALL MAJOR EQUIPMENT.

2. IN ADDITION TO THE ABOVE MENTIONED MAINTENANCE MANUAL, PROVIDE THE OWNER WITH ON-SITE INSTRUCTIONS FOR MAJOR EQUIPMENT AND SHOW EVIDENCE IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE AT THE CONCLUSION OF THE PROJECT THAT THIS SERVICE WAS RENDERED.
- E. EQUIPMENT TO BE FURNISHED
1. SUPPLY AS A PART OF THIS CONTRACT THE FOLLOWING TOOLS:
- a. TWO (2) SETS OF SPECIAL TOOLS REQUIRED FOR REMOVING, DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER AND VALVE.

- supplied ON THE PROJECT.
- b. TWO (2) FIVE-FOOT VALVE KEYS FOR OPERATION OF GATE VALVES.
- c. TWO (2) KEYS FOR EACH AUTOMATIC CONTROLLER AND IRRIGATION CONTROLLER ENCLOSURE.
- d. ONE (1) QUICK COUPLER KEY AND MATCHING HOSE SWIVEL FOR EVERY FIVE (5) OR FRACTION THEREOF, OF EACH TYPE OF QUICK COUPLING VALVE INSTALLED.
2. THE ABOVE MENTIONED EQUIPMENT SHALL BE TURNED OVER TO THE OWNER AT THE CONCLUSION OF THE PROJECT. BEFORE THE FINAL WALK-THROUGH SHALL BE PERFORMED, EVIDENCE THAT THE OWNER HAS RECEIVED THIS MATERIAL MUST BE SHOWN TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

1.6 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. HANDLING OF PVC PIPE AND FITTINGS
1. THE CONTRACTOR IS CAUTIONED TO EXERCISE CARE IN HANDLING, LOADING, UNLOADING, AND STORING OF PVC PIPE AND FITTINGS. ALL PIPE SHALL BE TRANSPORTED IN A VEHICLE, WHICH ALLOWS THE LENGTH OF PIPE TO LIE FLAT SO AS NOT TO SUBJECT IT TO UNDUCE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT. ANY SECTION OF PIPE THAT HAS BEEN DENTED OR DAMAGED WILL BE DISCARDED AND, IF INSTALLED, SHALL BE REPLACED WITH NEW PIPING AT NO COST TO THE OWNER.

1.7 SUBSTITUTIONS

- A. IF THE CONTRACTOR WISHES TO SUBSTITUTE ANY EQUIPMENT OR MATERIALS FROM THOSE EQUIPMENT OR MATERIALS LISTED ON THE DRAWINGS AND SPECIFICATIONS, HE MAY DO SO BY PROVIDING THE FOLLOWING INFORMATION TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL:
1. PROVIDE A STATEMENT INDICATING THE REASON FOR MAKING THE SUBSTITUTION. USE A SEPARATE SHEET OF PAPER FOR BE THE MAXIMUM SIZE OF WHICH THE IRRIGATION CONTROLLER DOOR WILL ALLOW.
2. PROVIDE A DESCRIPTIVE CATALOG OF LITERATURE, PERFORMANCE CHARTS AND FLOW CHARTS FOR EACH ITEM TO BE SUBSTITUTED.
3. PROVIDE THE AMOUNT OF COST SAVINGS IF THE SUBSTITUTED ITEM IS APPROVED.
- B. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL HAVE THE SOLE RESPONSIBILITY IN ACCEPTING OR REJECTING ANY SUBSTITUTED ITEM AS AN APPROVED EQUIPMENT EQUAL TO THOSE EQUIPMENT AND MATERIALS LISTED ON THE DRAWINGS AND SPECIFICATIONS.

1.8 PRIOR TO START OF THE LANDSCAPE MAINTENANCE PERIOD

- A. THE CONTRACTOR SHALL SUBMIT PROOF OF WARRANTY TO THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO THE START OF THE LANDSCAPE MAINTENANCE PERIOD. ALL COMPUTERIZED IRRIGATION CONTROL SYSTEM MATERIALS EXCEPT INTERCONNECT CONDUCTORS SHALL HAVE A FIVE-YEAR WARRANTY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY WARRANTY INSPECTIONS FROM THE EQUIPMENT SUPPLIER. NO INSTALLATIONS WILL BE ACCEPTED WITHOUT PROOF OF WARRANTY.

1.9 GUARANTEE

- A. THE GUARANTEE FOR THE IRRIGATION SYSTEM SHALL BE MADE IN ACCORDANCE WITH THE ATTACHED FORM.
- B. A COPY OF THE GUARANTEE FORM SHALL BE INCLUDED IN THE OPERATIONS AND MAINTENANCE MANUAL.
- C. THE GUARANTEE FORM SHALL BE RE-TYPED ONTO THE CONTRACTOR'S LETTERHEAD AND CONTAIN THE FOLLOWING INFORMATION:

1.10 GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM

- A. WE HEREBY GUARANTEE THAT THE SPRINKLER IRRIGATION SYSTEM WE HAVE FURNISHED AND INSTALLED IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP. AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR AND UNUSUAL ABUSE, OR NEGLIGENCE EXCLUDED. WE AGREE TO REPAIR OR REPLACE ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH MAY DEVELOP DURING THE PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE AND ALSO TO REPAIR OR REPLACE ANY DAMAGE RESULTING FROM THE REPAIRING OR REPLACING OF SUCH DEFECTS AT NO ADDITIONAL COST TO THE OWNER. WE SHALL MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN A REASONABLE TIME, AS DETERMINED

BY THE OWNER, AFTER RECEIPT OF WRITTEN NOTICE. IN THE EVENT OF OUR FAILURE TO MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN A REASONABLE TIME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER, WE AUTHORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS MADE AT OUR EXPENSE AND WE WILL PAY THE COSTS AND CHARGES THEREFORE UPON DEMAND.

PROJECT:

LOCATION:

SIGNED:

ADDRESS:

PHONE:

DATE OF ACCEPTANCE:

11. RULES AND REGULATIONS

- A. WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, THE UNIFORM PLUMBING CODE AS PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION, AND APPLICABLE LAWS AND REGULATIONS OF THE GOVERNING AUTHORITIES.

11.2 PROTECTION OF WORK AND MATERIALS

- A. THE CONTRACTOR SHALL PROTECT HIS WORK AND WORK OF OTHERS FOR THE DURATION OF THE CONTRACT. HE SHALL PROTECT PIPES AND FITTINGS FROM DIRECT SUNLIGHT, AND AVOID UNDUCE BENDING AND ANY CONCENTRATED EXTERNAL LOADING. PIPE OR FITTINGS THAT HAVE BEEN DAMAGED SHALL NOT BE USED.
- B. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. DAMAGE TO UTILITIES WHICH ARE CAUSED BY CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- C. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS AND PLANT MATERIAL. THAT IS TO REMAIN, SHOULD DAMAGE TO INCURRED, CONTRACTOR SHALL REPAIR DAMAGE TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUAL REPLACEMENTS.
- D. ALL EXISTING IRRIGATION SYSTEMS SHALL BE KEPT IN OPERATION AT ALL TIMES. IF THE EXISTING SYSTEM IS DAMAGED BY CONTRACTOR, HE SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIR OF SUCH DAMAGE. AFTER EACH REPAIR, ALL HEADS OF THE REPAIRED SYSTEM SHALL BE REMOVED SO THAT THE LINES CAN BE CLEARED OF ALL DIRT AND FOREIGN MATTER.

11.3 CORRECTION OF WORK

- A. ANY AND ALL DISCREPANCIES OF UNSATISFACTORY WORK SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CORRECTION OF WORK SHALL BE FINISHED WITH A REASONABLE PERIOD MUTUALLY AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.

PART 2 - PRODUCTS

2.1 GENERAL

- A. USE ONLY NEW MATERIALS OF BRANDS AND TYPES NOTED ON THE DRAWINGS OR SPECIFICATIONS.

PVC PRESSURE MAIN LINE PIPE AND FITTINGS

- A. CLASS 315 PIPE SHALL BE MADE FROM AN NSF APPROVED TYPE I, GRADE I, PVC COMPOUND CONFORMING TO ASTM COMPOUND SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN ASTM D2241 (SOLVENT-WELD CLASS PIPE), WITH AN APPROPRIATE STANDARD DIMENSION (S.D.R.).
- B. SCHEDULE 40 PIPE SHALL BE MADE FROM NSF APPROVED TYPE I, GRADE I, PVC COMPOUND CONFORMING TO ASTM COMPOUND SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN ASTM D1785 (SOLVENT-WELD CLASS PIPE).
- C. PVC SOLVENT-WELD FITTINGS SHALL BE SCHEDULE 40, 1-2, II-NSF APPROVED CONFORMING TO ASTM TEST PROCEDURE D2486.
- D. SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT-WELD PIPE AND FITTINGS SHALL BE OF TYPE AND INSTALLATION METHODS PRESCRIBED BY THE MANUFACTURER.
- E. ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:
1. MANUFACTURER'S NAME.
2. NOMINAL PIPE SIZE.
3. SCHEDULE OR CLASS.
4. PRESSURE RATING IN PSI.

5. NSF (NATIONAL SANITATION FOUNDATION) NOTICE. IN THE EVENT OF OUR FAILURE TO MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN A REASONABLE TIME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER, WE AUTHORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS MADE AT OUR EXPENSE AND WE WILL PAY THE COSTS AND CHARGES THEREFORE UPON DEMAND.
6. DATE OF EXTRUSION.
7. ALL FITTINGS SHALL BEAR THE MANUFACTURER'S NAME OR TRADEMARK, MATERIAL DESIGNATION, SIZE, APPLICABLE IPS SCHEDULE AND NSF SEAL OF APPROVAL.

2.3 PVC NON-PRESSURE LATERAL LINE PIPING

- A. NON-PRESSURE BURIED LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT-WELDED JOINTS.
- B. NON-PRESSURE LATERAL LINE PIPING INSTALLED UNDER PAVED AREAS SHALL BE INSTALLED IN A PVC SCHEDULE 40 SLEEVE.
- C. PIPE SHALL BE MADE FROM NSF APPROVED, TYPE II, GRADE II PVC COMPOUND CONFORMING TO ASTM COMPOUND SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS SET FORTH IN ASTM D2241 (SOLVENT-WELD CLASS PIPE) WITH AN APPROPRIATE STANDARD DIMENSION RATIO.
- D. EXCEPT AS NOTED IN PARAGRAPHS A, B, C AND D OF SECTION 2.2, ALL REQUIREMENTS FOR NON-PRESSURE LATERAL LINE PIPE AND FITTINGS SHALL BE THE SAME AS FOR SOLVENT-WELD PRESSURE MAIN LINE PIPE AND FITTINGS AS SET FORTH IN THIS SPECIFICATION.

2.4 BRASS PIPE AND FITTINGS

- A. WHERE INDICATED ON THE DRAWINGS, USE RED BRASS SCREWED PIPE CONFORMING TO FEDERAL SPECIFICATION WW-W-P-351.
- B. FITTINGS SHALL BE RED BRASS CONFORMING TO FEDERAL SPECIFICATION WW-W-P-460.

2.5 BALL VALVES

- A. BALL VALVES 2" AND SMALLER SHALL BE 125 LB. SWP PLASTIC BALL VALVE WITH BLOW-OUT PROOF AND FULL PORT.
- B. BALL VALVES 2" AND SMALLER SHALL HAVE THREADED ENDS. REFER TO LEGEND FOR TYPE.
- C. ALL BALL VALVES SHALL BE INSTALLED PER IRRIGATION INSTALLATION DETAILS.

2.6 QUICK COUPLING VALVES


- A. QUICK COUPLING VALVES SHALL HAVE A BRASS ONE-PIECE BODY DESIGNED FOR A WORKING PRESSURE OF 150 PSI. OPERABLE WITH QUICK COUPLER. KEY SIZE AND TYPE SHALL BE AS INDICATED ON THE DRAWINGS.

2.7 BACKFLOW PREVENTION UNITS

- A. BACKFLOW PREVENTION UNITS SHALL BE OF SIZE AND TYPE INDICATED ON THE DRAWINGS. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH THE DRAWINGS.
- B. WYE STRAINERS AT BACKFLOW PREVENTION UNITS SHALL HAVE A BRONZED SCREWED BODY WITH 60 MESH STAINLESS STEEL SCREEN AND SHALL BE SIMILAR TO THE BAILEY #100B OR APPROVED EQUAL.
- C. ALL PRESSURE MAINLINE PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER SHALL BE INSTALLED AS REQUIRED BY LOCAL CODE. THE CONTRACTOR SHALL VERIFY WITH THE LOCAL GOVERNING BODY AS TO MATERIAL TYPE AND INSTALLATION PROCEDURES PRIOR TO START OF CONSTRUCTION. SUBMIT SHOP DRAWING FOR APPROVAL.

2.8 CHECK VALVES

- A. SWING CHECK VALVES 2" AND SMALLER SHALL BE 200 POUND WOG BRONZE CONSTRUCTION WITH REPLACEABLE COMPOSITION, NEOPRENE OR RUBBER DISC AND SHALL MEET OR EXCEED FEDERAL SPECIFICATION WW-W-51D, CLASS A, TYPE IV.
- B. CHECK VALVES SHALL BE OF HEAVY DUTY VIRGIN PIP CONSTRUCTION WITH FIT THREADED INLETS AND OUTLETS. INTERNAL PARTS SHALL BE STAINLESS STEEL AND NEOPRENE. CHECK VALVES SHALL BE FIELD ADJUSTABLE AGAINST DRAW-OUT FROM 5 TO 40 FEET OF HEAD. CHECK VALVES SHALL BE SIMILAR TO THE KINGS BROS. INDUSTRIES' CV- SERIES, OR EQUAL.



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LANDSCAPE ARCHITECTS

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AS A CONTRACT, THIS DRAWING MAY BE PROVIDED IN  
ELECTRONIC FORMAT AND SHOULD BE USED FOR REFERENCE  
ONLY. THE ELECTRONIC DELIVERY OF ANY PRODUCT, OR  
ANY PART THEREOF, DOES NOT CONSTITUTE AN OFFER OF  
ANY PRODUCT. ONLY THE SIGNED HARD COPY PREPARED  
FOR THE PROJECT CONSTITUTES AN OFFER OF ANY  
PRODUCT. THE HARD COPY MUST BE RETURNED TO THE  
OWNER'S AUTHORIZED REPRESENTATIVE. THE LOCAL  
ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE  
ELECTRONIC FILE MUST NOT BE REPRODUCED, COPIED, OR  
USED BY ANY OTHER PARTY WITHOUT THE WRITTEN  
CONSENT OF GRIMM ASSOCIATES, INC. FOR ALL CITIES AND  
COUNTIES.

PROJECT

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES



REGISTERED LANDSCAPE ARCHITECT  
No. 10000  
STATE OF CALIFORNIA

REVISIONS

NO.	DATE	ISSUE
2020.08.14	OWNER CHANGES	
2020.11.03	COP SUBMITTAL	
2020.12.03	FUEL MODIFICATION UPDATE	
2021.03.29	BIOLOGY REVIEW REVISION	

DRAWING DESCRIPTION

IRRIGATION SPECIFICATIONS

DRAWING NO.

L6.13

PROJECT

30530.00

DATE

JULY 15, 2020

SCALE

N/A

DRAWN BY

JHS

119

- A. CONNECTIONS BETWEEN THE AUTOMATIC CONTROLLERS AND THE ELECTRIC CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL CABLES. THERE SHALL BE NO JOINTS. ALL CABLE WIRES SHALL BE SHALL BE #14 GAUGE AND A DIFFERENT WIRE COLOR FOR EACH AUTOMATIC CONTROLLER. ALL CABLE WIRES SHALL #14 GAUGE AND WHITE IN COLOR WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC CONTROLLER. INSTALL WIRES IN ACCORDANCE WITH VALVE MANUFACTURERS' SPECIFICATIONS AND THE FOLLOWING: IN EACH CASE SHALL WIRE SIZE BE LESS THAN #14 GAUGE. WIRE COLOR SHALL BE CONTINUOUS OVER ITS ENTIRE LENGTH.
- B. WIRING SHALL OCCUR AT THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME ROUTE AS PRESSURE SUPPLY OR LATERAL LINES WHEREVER POSSIBLE.
- C. WHEN THE MORE THAN ONE WIRE IS PLACED IN A TRENCH, THE WIRING SHALL BE TIED TOGETHER AT INTERVALS OF 10 FEET.
- D. AN EXPANSION CURL SHALL BE PROVIDED WITHIN THREE (3) FEET OF EACH WIRE CONNECTION. EXPANSION CURL SHALL BE OF SUFFICIENT LENGTH AT EACH SPLICE CONNECTION AT EACH ELECTRIC CONTROL, SO THAT THE WIRE OF THE EXPANSION CURL BONNET MAY BE BROUGHT TO THE SURFACE WITHOUT DISCONNECTING THE CONTROL WIRES.
- E. CONTROL WIRES SHALL BE LAID LOOSELY IN THE TRENCH WITHOUT STRETCHING OR STRETCHING OF THE CONTROL WIRE CONDUCTORS.

- A. USE A 10" DIAMETER SPECIFICATION ROUND VALVE BOX FOR GATE VALVES, BALL VALVES, CONTROL WIRE SPLICES, AND QUICK COUPLING VALVES. MANUFACTURED BY RAIN BIRD, MODEL #VB-10RD WITH GREEN OR BLACK COVER. EXTENSION SLEEVES SHALL BE 6" MINIMUM PVC PIPING MATERIAL.
- B. USE A RECTANGULAR SPECIFICATION GRADE GATE VALVE BOX FOR ELEVATION CONTROL VALVES, MASTER VALVES, FLOW SENSORS, AND CONTROL WIRE PULL BOXES, AS MANUFACTURED BY RAIN BIRD, MODEL #VB-STD WITH A GREEN OR BLACK COVER.
- C. USE A JUMBO RECTANGULAR SPECIFICATION GATE VALVE BOX FOR ZONE ASSEMBLY CONTROL VALVES, AS MANUFACTURED BY RAIN BIRD, MODEL #VB-JMB WITH A GREEN OR BLACK COVER.
- D. VALVE BOXES SHALL BE A MINIMUM OF ONE (1) SIDE WHEN ARRANGED IN A GROUP OR SIDE BY SIDE, OR UNLESS NOTED OTHERWISE IN THE DRAWINGS.

- A. ALL SPRINKLER HEADS SHALL BE OF THE SAME SIZE, TYPE, AND DELIVER THE SAME RATE OF PRECIPITATION WITH THE DIAMETER (OR RADIUS) OF THROW, PRESSURE, AND DISCHARGE AS SHOWN ON THE DRAWINGS AND IN THIS SPECIFICATION.
- B. SPRAY HEADS SHALL HAVE A SCREW ADJUSTMENT.
- C. RISER UNITS SHALL BE FABRICATED IN ACCORDANCE WITH THE DRAWINGS.
- D. RISER NIPPLES FOR ALL SPRINKLER HEADS SHALL BE THE SAME SIZE AS THE RISER OPENING IN THE SPRINKLER BODY.
- E. ALL SPRINKLER HEADS OF THE SAME TYPE SHALL BE FROM THE SAME MANUFACTURER.

A. IDENTIFICATION TAGS FOR ELECTRICAL CONTROL VALVES, AND OTHER EQUIPMENT ASSEMBLIES AS DESIGNATED ON DRAWINGS, SHALL BE MANUFACTURED FROM POLYURETHANE BEHR DESOPAN. USE CHRISTY'S STANDARD TAG HOT STAMPED WITH BLACK LETTERS ON YELLOW BACKGROUND. THE TAGS SHALL BE NUMBERED TO MATCH STATION IDENTIFICATION AS INDICATED ON DRAWINGS. PROVIDE ONE (1) TAG FOR EACH ELECTRIC CONTROL VALVE.

B. SPECIAL ORDER TAGS FROM T. CHRISTY ENTERPRISES. (714)771-4142.

- A. INSTALL SEPARATE SLEEVE BENEATH PAVED AREAS TO ROUTE EACH RUN OF IRRIGATION PIPE OR WIRING BUNDLE.
- B. SLEEVING MATERIAL BENEATH PEDESTRIAN PAVEMENTS - ASTM D3034 PVC GRAVITY SEWER PIPE.
- C. SLEEVING BENEATH STREETS AND DRIVES - ASTM D3034 PVC GRAVITY SEWER PIPE.
- D. SLEEVING DIAMETER - EQUAL TO TWICE THAT OF THE PIPE OR WIRING BUNDLE. MINIMUM SLEEVING DIAMETER SHALL BE 24" INCHES.
- E. MARKING STAKES - 2" x 2" x 24" WOOD STAKES.

A. TOOLS AND SPARE PARTS

1. PROVIDE OPERATING KEYS, SERVICING TOOLS, TEST EQUIPMENT, OTHER ITEMS, AND SPARE PARTS AS INDICATED IN OTHER AREAS OF THIS SPECIFICATION.

B. OTHER MATERIALS

1. PROVIDE OTHER MATERIALS OR EQUIPMENT NOT INDICATED ON THE DRAWINGS OR REFERENCED IN THIS SPECIFICATION, AS NECESSARY, TO COMPLETE THE INSTALLATION OF THE IRRIGATION SYSTEM.

A. AUTOMATIC IRRIGATION CONTROLLERS SHALL BE OF THE SIZE AND TYPE AS THAT INDICATED ON THE DRAWINGS.

B. FINAL LOCATION OF AUTOMATIC IRRIGATION CONTROLLERS SHALL BE APPROVED BY THE CHAIRMAN AUTHORIZED REPRESENTATIVE.

C. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE 120 VOLT ELECTRICAL POWER TO THE AUTOMATIC IRRIGATION CONTROLLER SHALL BE FURNISHED BY OTHERS. THE FINAL ELECTRICAL HOOK-UP SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

D. THE AUTOMATIC IRRIGATION CONTROLLER SHALL BE INCLUDED AS A PART OF THE IRRIGATION CONTROLLER ENCLOSURE ASSEMBLY.

- A. ALL ELECTRIC CONTROL VALVES SHALL BE THE SAME MANUFACTURER AS THE AUTOMATIC CONTROLLERS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- B. ALL ELECTRIC CONTROL VALVES SHALL HAVE A MANUAL FLOW ADJUSTMENT.
- C. PROVIDE AND INSTALL ONE (1) CONTROL VALVE BOX FOR EACH ELECTRIC CONTROL VALVE.

A. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS AND RECEIVE THE OWNER'S CHECKED DIMENSIONS AND MARKINGS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS SPECIFICATION. CONTRACTOR SHALL LOCATE WITH 1/2" X 2" DIMENSIONED STUDS WITH DIMENSION MARKINGS FOR ALL PROPOSED LOCATIONS OF ELECTRICAL CONTROL VALVE BOXES, GATE VALVE BOXES AND QUICK-COUPLER BOXES FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PROCEEDING. THESE ITEMS CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND APPROVAL. MINOR ADJUSTMENTS TO THE LOCATION AND DIMENSIONS REQUESTED OF THE CONTRACTOR BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT THAT TIME.

B. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING ON EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THESE UTILITIES WHICH ARE CAUSED BY HIS OPERATIONS. CHECK EXISTING UTILITY DRAWINGS FOR EXISTING UTILITY LOCATION.

C. COORDINATE INSTALLATION OF SPRINKLER IRRIGATION MATERIALS INCLUDING PIPE, SO THAT THERE SHALL BE NO INTERFERENCE WITH UTILITIES, CONSTRUCTION ELEMENTS, OR PLANTING OF TREES, SHRUBS, AND GROUND COVERS.

D. THE CONTRACTOR SHALL CAREFULLY CHECK ALL FINISH GRADES TO SATISFY HIMSELF THAT THERE IS NO VIOLATION OF THE STARTING WORK ON THE IRRIGATION SYSTEM.

E. REPORT IRREGULARITIES TO OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BEGINNING WORK. BEGINNING OF WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.

- A. PHYSICAL LAYOUT
  1. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL STAKE OUT ALL PROPOSED AND NON-PROPOSED SUPPLY LINES AND THE LOCATION OF ALL SPRINKLER HEADS.
  2. ALL LAYOUT SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- B. WATER SUPPLY POINT-OF-CONNECTIONS
  1. WATER SUPPLY POINT-OF-CONNECTION ARE AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.
  2. THE SPRINKLER IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS.
- C. ELECTRICAL SUPPLY POINT-OF-CONNECTIONS
  1. ELECTRICAL SUPPLY POINT-OF-CONNECTIONS FOR THE AUTOMATIC IRRIGATION CONTROLLERS ARE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.
  2. CONTROLS SHALL BE LOCATED AT APPROXIMATE LOCATIONS AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

- A. TRENCING
  - 1. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN EVEN GRADE. TRENCHING EXCAVATION SHALL FOLLOW THE DRAWING AS INDICATED ON THE DRAWINGS.
  - 2. PROVIDE A MINIMUM SOIL COVER OF 18 INCHES FOR ALL PRESSURE SUPPLY LINES.
  - 3. PROVIDE A MINIMUM SOIL COVER OF 12 INCHES FOR ALL NON-PRESSURE LINES.
  - 4. PROVIDE A MINIMUM SOIL COVER 18 INCHES FOR ALL CONTROL WIRE.
  - 5. WHERE PIPING IS INDICATED UNDER PAVED AREAS, BUT RUNNING PARALLEL AND ADJACENT TO PLANTING AREAS, INSTALL THE PIPING IN THE PLANTED AREAS. IRRIGATION HEAD SPACING AS INDICATED ON THE DRAWINGS SHALL NOT BE DECREASED.
- B. BACKFILLING
  - 1. THE TRENCHES SHALL NOT BE

ARE PERMITTED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH THE EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SAND, OR SAND, OR OTHER APPROVED MATERIALS. BACKFILL FROM LARGE CLOUDS OF EARTH OR STONES. BACKFILL SHALL BE MECHANICALLY COMPACTED LANDSCAPED AREAS TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED AREAS. BACKFILL SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER SURFACE IRREGULARITIES.

A FINE GRANULAR MATERIAL BACKFILL SHALL BE PLACED OVER ALL LINES. NO FOREIGN MATERIAL LARGER THAN ONE-HALF INCH IN SIZE WILL BE PERMITTED IN THE INITIAL BACKFILL. FLOODING OF TRENCHES WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

IF SETTLEMENT OCCURS AND  
SUBSEQUENT ADJUSTMENTS IN PIPE,  
VALVES, SPRINKLER HEADS, PLANTING, OR  
OTHER CONSTRUCTION ELEMENTS ARE  
NECESSARY, THE CONTRACTOR SHALL  
MAKE ALL REQUIRED ADJUSTMENTS  
WITHOUT COST TO THE OWNER.

ANCHORING AND BACKFILLING UNDER PAVING TRENCHES LOCATED UNDER AREAS WHERE EXISTING CONCRETE DRIVEWAYS OR CONCRETE PAVING OCCUR, SHALL BE COMPACTED WITH SAND (A LAYER SIX (6) INCHES BELOW THE PIPE AND THREE (3) INCHES ABOVE THE PIPE) AND COMPACTED IN LAYERS NOT EXCEEDING 4" COMPACTION, USING MANUAL OR MECHANICAL TAMPING DEVICES.

TRENCHES FOR PIPING SHALL BE EXCAVATED TO A DEPTH TO ALLOW FOR COMPACTION OF THE EXISTING ADJACENT.

UNDISTURBED SOIL AND SHALL BE LEFT IN A FIRM UNYIELDING CONDITION. ALL TRENCHES SHALL BE LEFT FLUSH WITH EXISTING GRADE.

THE CONTRACTOR SHALL SET IN PLACE, CAP AND PRESSURE TEST ALL PIPING UNDER PAVING PRIOR TO THE PAVING WORK.

GENERALLY, PIPING SHALL BE EXPOSED TO WALLS, CURBS, JACKING, BORING OR HYDRAULIC DRIVING, WHEN THERE ANY CUTTING OR BREAKING OF CONCRETE IS NECESSARY. IT SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE AT NO COST TO THE OWNER. PERMISSION TO CUT OR BREAK CONCRETE SHALL BE OBTAINED FROM THE OWNER'S AUTHORIZED REPRESENTATIVE. NO HYDRAULIC DRIVING SHALL BE PERMITTED UNDER CONCRETE PAVING.

PROVIDE A MINIMUM SOIL COVER OF 18 INCHES BETWEEN THE TOP OF THE PIPE AND THE EXISTING GRADE OF THE CONCRETE BASE FOR ALL PRESSURE AND NON-PRESSURE PIPING INSTALLED UNDER ASPHALTIC CONCRETE PAVING.

THE CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS WITHOUT COST TO THE OWNER.

SEALING OF IRRIGATION LINES AS INDICATED ON THE DRAWINGS IS REQUIRED TO PREVENT ONLY INSTALL LINES AND VARIOUS ASSEMBLIES IN SUCH A MANNER AS TO CONFORM WITH THE DRAWINGS. INSTALLATION OF ALL ASSEMBLIES IN PLASTIC LINES SHALL PROVIDE EACH ASSEMBLY WITH ITS OWN OUTLET.

INSTALL ALL ASSEMBLIES SPECIFIED ON THE DRAWINGS IN ACCORDANCE WITH THEIR RESPECTIVE DETAILS. IN ABSENCE OF DRAWINGS OR SPECIFICATIONS PARTICIPATING TO SPECIFIC ITEMS REQUIRED TO BE PROVIDED SHALL BE IN ACCORDANCE WITH SUCH WORK IN ACCORDANCE WITH BEST STANDARD PRACTICE WITH PRIOR APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

PVC PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DUST, DEBRIS AND OIL PRIOR TO INSTALLATION. INSTALLATION AND SOLVENT WELDING METHODS SHALL BE AS RECOMMENDED BY THE PIPE AND FITTING MANUFACTURER.

ON PAVE TO METAL CONNECTIONS WORK THE METAL CONNECTIONS FIRST. TEFLON TAPE OR APPROVED EQUAL, SHALL BE APPLIED TO THE METAL JOINTS AND A THREADED PIP TO METAL JOINTS. APPLY A LIGHT WRENCH PRESSURE ONLY.

ARE REQUIRED, USE THREADED PVC ADAPTERS INTO WHICH THE PIPE MAY BE SOLVENT WELDED.

ASSEMBLING PIPE AND FITTINGS:

1. INSPECT ALL PIPE AND FITTINGS BEFORE INSTALLATION.
2. KEEP PIPE FREE FROM DIRT AND PIPE SCALE. CUT PIPE ENDS SQUARE AND DEBUR. CLEAN PIPE ENDS OF LOOSE PIPE SHAVINGS.
3. KEEP ENDS OF ASSEMBLED PIPE CAPPED. REMOVE CAPS ONLY WHEN NECESSARY TO CONTINUE ASSEMBLY.
4. INSTALL PIPE WITH ALL MARKINGS UP FOR VISUAL INSPECTION AND VERIFICATION.
5. ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.
6. MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION FROM ALL POTABLE WATER PIPING. WHERE POTABLE AND POTABLE WATER PRESSURE MAIN PIPING CROSS, THE RECLAIMED WATER PIPING SHALL BE INSTALLED BELOW THE POTABLE WATER PIPING IN SCHEDULE 40 PVC. IF EXTENDING FROM THE FIVE (5) FEET ON EITHER SIDE OF THE POTABLE WATER PIPING, PROVIDE A MINIMUM VERTICAL CLEARANCE OF SIX (6) INCHES. USE ONLY STRAP-TYPE FRICTION.
7. ALL SNAKE PIPE FROM SIDE TO SIDE WITHIN THE TRENCH.

F. LINE CLEARANCE

1. ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.

G. IRRIGATION CONTROLLER INSTALLATION

1. INSTALL THE IRRIGATION CONTROLLER PER THE MANUFACTURER'S INSTRUCTIONS. THE IRRIGATION CONTROL VALVES SHALL BE CONNECTED TO THE IRRIGATION CONTROLLER IN NUMERICAL SEQUENCE AS INDICATED ON THE DRAWINGS.

H. ELECTRIC CONTROL VALVE INSTALLATION

1. INSTALL ELECTRIC CONTROL VALVES AS INDICATED ON THE DRAWINGS. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE INCHES BETWEEN ELECTRIC CONTROL VALVE INSTALLATIONS.
2. ELECTRIC CONTROL VALVE IN A SEPARATE VALVE BOX. EACH ELECTRIC CONTROL VALVE NUMBER SHALL BE HEAT-BRANDED VALVE BOX TOP WITH 2" TALL LETTERS.
3. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ELECTRIC CONTROL VALVE AND QUICK COUPLING VALVE BOX LOCATIONS PRIOR TO FINAL INSTALLATION.

I. VALVE BOX INSTALLATION

1. INSTALL VALVE BOXES AS INDICATED ON THE DRAWINGS. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE INCHES BETWEEN VALVE BOXES.
2. HEAT BRAND VALVE BOX IDENTIFICATION AS INDICATED ON DRAWINGS. HEAT BRANDING UNIT FROM HYDRO-SCAPE PRODUCTS, INC., PHONE NUMBER (714) 639-1850.

SYSTEM FLUSHING  
AFTER ALL PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED AND ALL NECESSARY DIVERSION WORK HAS BEEN COMPLETED, AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES AND THE FULL HEAD OF WATER USED TO FLUSH OUT THE SYSTEM, SPRINKLER HEADS SHALL BE INSTALLED. AFTER THE FLUSHING OF THE SYSTEM HAS BEEN PERFORMED, SPRINKLER HEAD INSTALLATION  
INSTALL THE SPRINKLER HEADS AS INDICATED ON THE DRAWINGS. ALL SPRINKLERS SHALL BE INSTALLED AT MINIMUM 24" SETBACK FROM ANY HARDCAPE AREAS THAT DRAIN TO THE STREET INCLUDING SIDEWALKS, CURBS, AND ROADWAY.  
SPACING OF SPRINKLER HEADS SHALL BE AS INDICATED ON THE DRAWINGS AS INDICATED ON THE DRAWINGS, IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM SPECIFIED BY THE MANUFACTURER.  
OVERLAY ON TO SIDEWALKS, BUILDINGS, FENCES, CURBS, ROADWAYS

SHALL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES. WHERE OVERSPRAY MAY OCCUR INSTANT SPRINKLERS SET BACK MINIMUM 10 FEET FROM SIDEWALKS, FENCES, BUILDINGS, CURBS, ROADWAY, AND ANY OTHER SURFACES AS MAY BE REQUIRED.

WHERE SPRINKLERS ARE INSTALLED WITH A SEPARATE WATER MAIN MATERIAL IS SHOWN BEHIND SPRINKLERS, DRIP OR BUBBLER IRRIGATION MAY BE REQUIRED TO IRRIGATE PLANT MATERIAL. PLANTS ARE TO BE WATERED THROUGH HEADS THAT DRAIN WATER AFTER THE CONTROL VALVE IS TURNED OFF. "LOW HEAD" DRAINAGE WILL NOT BE ALLOWED ON SPRINKLER HEADS.

**SLEEVING**

EXTEND SLEEVE ENDS A MINIMUM OF 12 INCHES BEYOND THE EDGE OF THE PAVED SURFACE. MARK EACH END OF SLEEVE WITH STAKES. ROUTE WIRE THROUGH AND TIE AT EACH END TO STAKES

A. THE OWNER RESERVES THE RIGHT TO MAKE TEMPORARY REPAIRS AS NECESSARY TO KEEP THE IRRIGATION SYSTEM IN OPERATING CONDITION. THE EXERCISE OF THIS RIGHT BY THE OWNER SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES UNDER THE TERMS OF THE GUARANTEE AS HEREIN.

A. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE REMAINING ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ALL ROOTS TWO (2) INCHES AND LARGER IN DIAMETER, EXCEPT DIRECTLY IN THE PATH OF PIPE OR CONDUIT, SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP. TO PREVENT SCARRING OR EXCESSIVE DRYING, WHERE A DITCHING MACHINE IS RUN UNDER TREES, EXISTING ROOTS SHALL BE CUT TO TWO (2) INCHES IN DIAMETER. THE WALL OF THE TRENCH ADJACENT TO THE TREE SHALL BE HAND TRIMMED. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE TRIMMED WITH TWO COATS OF AN APPROVED TREES. TRENCHES ADJACENT TO EXISTING TREES SHOULD BE CLOSED WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADDED WITH BURLAP OR CANVAS.



**GIRVIN ASSOCIATES INC.**  
LANDSCAPE ARCHITECTS

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<b>PROJECT ADDRESS</b>
6734 Zumirez Drive, Malibu, CA 90265
<b>PROJECT NOTES</b>

[illegible]

## IRRIGATION SPECIFICATIONS

DRAWING NO.	
L6.14	
PROJECT	30530.00
DATE	JULY 15, 2020
SCALE	N/A
DRAWN BY	HS

3.6 FIELD QUALITY CONTROL

- A. ADJUSTMENT OF THE IRRIGATION SYSTEM
1. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO REDUCE OVERSPRAY ONTO WALKS, ROADWAYS, AND BUILDINGS AS MUCH AS POSSIBLE.
  2. IF IT IS DETERMINED THAT ADJUSTMENTS TO THE SPRINKLER HEADS WILL PROVIDE PROPER AND MORE ADEQUATE COVERAGE, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS PRIOR TO ANY PLANTING. ADJUSTMENTS MAY ALSO INCLUDE CHANGES IN NOZZLE SIZES AND DEGREES OF ARC AS REQUIRED.
  3. LOWERING RAISED SPRINKLER HEADS BY THE CONTRACTOR SHALL BE ACCOMPLISHED WITHIN 10 DAYS AFTER NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  4. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADES UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- B. IRRIGATION SYSTEM TESTING
1. THE CONTRACTOR SHALL REQUEST THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE OF IRRIGATION SYSTEM TESTING.
  2. TEST ALL PRESSURE LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A PERIOD OF TWO (2) HOURS.
  - NOTE: TESTING OF PRESSURE MAINLINE SHALL OCCUR PRIOR TO INSTALLATION OF ANY ELECTRIC CONTROL VALVES.
  3. IF DURING THE PRESSURE TEST, A PRESSURE DROP OCCURS - INDICATING A LEAK, REPLACE THE FAULTY JOINTS AND REPEAT THE PRESSURE TEST UNTIL THE ENTIRE SYSTEM IS PROVEN WATERTIGHT. ALL HYDROSTATIC TESTS SHALL BE MADE ONLY IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. NO PIPE SHALL BE BACKFILLED UNTIL IT HAS BEEN OBSERVED, TESTED AND APPROVED IN WRITING.
  5. THE CONTRACTOR IS TO FURNISH THE NECESSARY FORCE PUMP AND ALL OTHER TEST EQUIPMENT FOR THE HYDROSTATIC PRESSURE TEST.
  6. WHEN THE IRRIGATION SYSTEM PASSES THE HYDROSTATIC PRESSURE TEST AND IS COMPLETED, PERFORM A SPRINKLER COVERAGE TEST IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. DETERMINE IF THE WATER COVERAGE IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK NECESSARY TO CORRECT ANY INADEQUACIES OF WATER COVERAGE DUE TO DEVIATIONS FROM THE DRAWINGS, OR WHERE THE IRRIGATION SYSTEM HAS BEEN WILLFULLY INSTALLED AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUSLY INADEQUATE, WITHOUT BRINGING THIS TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THIS TEST SHALL BE ACCOMPLISHED BEFORE ANY GROUND COVER OR TURF IS PLANTED.
  7. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHALL BE COVERAGE TESTED AND ADJUSTED TO MEET SPECIFIC SITE REQUIREMENTS.
- 3.7 IRRIGATION SYSTEM MAINTENANCE
- A. THE ENTIRE IRRIGATION SYSTEM SHALL BE UNDER FULL, AUTOMATIC OPERATION FOR A PERIOD OF SEVEN (7) DAYS PRIOR TO BEGINNING ANY PLANTING. THE OWNER RESERVES THE RIGHT TO WAIVE OR SHORTEN THIS OPERATION PERIOD.
- 3.8 CLEAN UP
- A. CLEAN UP SHALL BE MADE AS EACH PORTION OF WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE BROOM SWEEPED OR WASHED DOWN, AND ANY DAMAGE SUSTAINED TO THE WORK OF OTHER CONTRACTORS SHALL BE REPAIRED TO ORIGINAL CONDITIONS AT NO COST TO THE OWNER.
- B. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SMOOTH ALL GROUND SURFACES. REMOVE EXCESS MATERIALS SUCH AS RUBBISH, DEBRIS AND SWEEP ADJACENT STREETS, CURBS, GUTTERS, WALKWAYS AND TRAILS. REMOVE CONSTRUCTION EQUIPMENT FROM THE PREMISES.
- 3.9 FINAL WALK-THROUGH PRIOR TO ACCEPTANCE
- A. THE CONTRACTOR SHALL OPERATE THE

IRRIGATION SYSTEM IN ITS ENTIRETY FOR THE OWNER'S AUTHORIZED REPRESENTATIVE AT TIME OF THE FINAL WALK-THROUGH. ANY ITEMS DEEMED NOT ACCEPTABLE BY THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE REWORKED TO THE HIS COMPLETE SATISFACTION.

B. THE CONTRACTOR SHALL SHOW EVIDENCE TO THE OWNER'S AUTHORIZED REPRESENTATIVE THAT THE OWNER HAS RECEIVED ALL ACCESSORIES, CHARTS, "AS-BUILT DRAWINGS", AND EQUIPMENT AS REQUIRED BEFORE THE FINAL WALK THROUGH WILL BE PERFORMED.

3.10 SITE VISIT / OBSERVATION SCHEDULE

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S AUTHORIZED REPRESENTATIVE IN ADVANCE OF THE FOLLOWING SITE VISITS:

1. PRE-JOB OR "KICK-OFF" MEETING - 7 DAYS.
2. PRESSURE SUPPLY LINE INSTALLATION AND TESTING - 2 DAYS.
3. AUTOMATIC CONTROLLER INSTALLATION - 2 DAYS.
5. LATERAL LINE AND SPRINKLER HEAD INSTALLATION - 2 DAYS.
6. SPRINKLER COVERAGE TEST - 2 DAYS.
7. FINAL WALKTHROUGH - 7 DAYS.

B. WHEN SITE VISITS ARE CONDUCTED BY OTHER THAN THE OWNER'S AUTHORIZED REPRESENTATIVE, SHOW EVIDENCE IN WRITINGS OF WHEN AND BY WHOM THESE SITE VISITS WERE MADE.

C. NO SITE VISITS WILL COMMENCE WITHOUT "AS-BUILTS". IN THE EVENT THE CONTRACTOR SCHEDULES A SITE VISIT WITHOUT "AS-BUILTS" OR WITHOUT COMPLETING PREVIOUSLY NOTED CORRECTIONS, OR WITHOUT PREPARING THE SYSTEM FOR SAID VISIT, THE CONTRACTOR BE RESPONSIBLE FOR REIMBURSING THE OWNER'S AUTHORIZED REPRESENTATIVE AT HIS CURRENT BILLING RATE PER HOUR PORTAL TO PORTAL (PLUS TRANSPORTATION COSTS) FOR THIS INCONVENIENCE. NO FURTHER SITE VISITS WILL BE PERFORMED BY THE OWNER'S AUTHORIZED REPRESENTATIVE UNTIL THIS CHARGE HAS BEEN PAID AND RECEIVED.

PART 4 - DRIP IRRIGATION SYSTEM: GENERAL

4.1 GENERAL CONDITIONS

- A. THE REQUIREMENTS OF THE "GENERAL CONDITIONS OF THE CONTRACT" AND OF DIVISION 1, "GENERAL REQUIREMENTS", SHALL APPLY TO ALL WORK IN THIS SECTION WITH THE SAME FORCE AND EFFECT AS THOUGH REPEATED IN FULL HEREIN.
- 4.2 SUMMARY
- A. CONDITIONS WITHIN IRRIGATION SYSTEM SPECIFICATION SECTION 02810 SHALL APPLY TO THIS SECTION.
- B. THIS SECTION INCLUDES THE INSTALLATION OF LOW VOLUME IRRIGATION COMPONENTS INCLUDING CONTROL ZONE KITS AND INLINE DRIP TUBING.

PART 5 - DRIP IRRIGATION PRODUCTS

5.1 CONTROL ZONE KITS

- A. GENERAL
1. CONTROL ZONE KIT ASSEMBLIES FOR DRIP IRRIGATION ZONES MUST INCLUDE A VALVE, FILTRATION AND PRESSURE REGULATION TO MEET THE FLOW REQUIREMENTS OF THE ZONE. WHERE NECESSARY A CHECK VALVE SHALL ALSO BE INSTALLED.
  2. CONTROL ZONE KITS SHALL BE RAIN BIRD CONTROL ZONE KITS AS INDICATED ON CONSTRUCTION DRAWINGS.
  3. COMPONENTS SHALL BE SIZED ACCORDING TO THE HYDRAULIC DEMANDS OF THE SYSTEM.
- B. RAIN BIRD CONTROL ZONE KIT
1. DRIP CONTROL ZONE KIT FOR ZONES WITH FLOWS FROM 0.25 TO 9.0 GPM
    - a. CONTROL ZONE KIT SHALL INCLUDE A 1" AS/FV VALVE, BASKET FILTER WITH 200-MESH (75 MICRON) SCREEN WITH A BUILT-IN 40 PSI PRESSURE REGULATOR, OR APPROVED EQUIVALENT.
- C. BASKET FILTER
- a. THE FILTER SHALL HAVE A 1" INLINE QUICK CHECK BASKET FILTER BODY CONSTRUCTED OF HEAVY-DUTY, GLASS-FILLED, UV RESISTANT POLYPROPYLENE CAPABLE OF WITHSTANDING PRESSURES OF NOT LESS THAN 150 PSI (10.3 BARS). THE DESIGN SHALL BE A BASKET STYLE BODY WITH JAR-TOP CAP. THE FILTER

ELEMENT SHALL BE CONSTRUCTED OF A DURABLE STAINLESS STEEL MESH ATTACHED TO A PROPYLENE FRAME AND SHALL BE 200-MESH (75 MICRON). THE SCREEN SHALL BE SERVICEABLE FOR CLEANING PURPOSES BY UNSCREWING THE CAP FROM THE BODY AND REMOVING THE FILTER ELEMENT.

D. PRESSURE REGULATOR

- a. THE CONTROL ZONE KIT SHALL HAVE THE PRESSURE REGULATOR BUILT INTO THE BASKET FILTER. THE PRESSURE REGULATING DEVICE IS A NORMALLY OPEN DEVICE THAT ALLOWS FULL FLOW WITH LITTLE PRESSURE LOSS UNLESS THE INLET PRESSURE IS GREATER THAN THE PRESET LEVEL. AS THE INLET PRESSURE INCREASES ABOVE THE PRESET LEVEL IT COMPRESSES A SPRING AND BEGINS TO REDUCE THE FLOW AND DOWNSTREAM PRESSURE. THE INLINE PRESSURE REGULATOR SHALL HAVE A PRESET OUTLET PRESSURE OF APPROXIMATELY 40 PSI (2.8 BAR).

E. REMOTE CONTROL VALVE

- a. THE CONTROL ZONE KIT SHALL HAVE AN AUTOMATIC IRRIGATION ANTI-SIPHON CONTROL VALVE. THE VALVE PRESSURE RATING NOT TO BE LESS THAN 150 PSI (10.3 BAR). THE VALVE BODY AND BONNET SHALL BE CONSTRUCTED OF HIGH-IMPACT, WEATHER-RESISTANT GLASS FILLED NYLON, STAINLESS STEEL AND OTHER CHEMICAL/UV RESISTANT MATERIALS. THE VALVE SHALL HAVE A DIAPHRAGM CONSTRUCTED OF A DURABLE BUNA-N RUBBER MATERIAL REINFORCED WITH NYLON.

5.3 POINT SOURCE DRIP EMISSION DEVICE

- A. EMITTERS
1. 1/2 GPH EMITTER, MODEL XB-05PC-1032, SHALL BE BLUE IN COLOR.
  2. 1 GPH EMITTER, MODEL XB-10PC-1032, SHALL BE BLACK IN COLOR.
  3. 2 GPH EMITTER, MODEL XB-20PC-1032, SHALL BE RED IN COLOR.
  4. EACH EMITTER SHALL HAVE A 1032 THREADED INLET FOR ATTACHMENT TO A PFR-FRA POLY FLEX RISER.
  5. EACH EMITTER SHALL BE PRESSURE COMPENSATING FROM 15-50 PSI.



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California 90024  
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AS A CONTRACT, THIS DRAWING MAY BE PROVIDED IN ELECTRONIC FORMAT AND SHOULD BE USED FOR REFERENCE PURPOSES ONLY. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF A PROFESSIONAL WORK PRODUCT. ONLY THE SIGNED HARD COPY PREPARED FOR THE PROJECT CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. THE HARD COPY MUST BE RETURNED TO FOR THE CORRECT DESIGN INFORMATION. GREEN ASSOCIATES, INC. (GAI) SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT PREPARED, EXAMINED, AND SIGNED BY GAI. THE RECEIPT OF THESE FILES AGREES TO RECEIPT AND HOLDS HARMLESS GAI FOR ALL COSTS AND

PROJECT

Zumirez

PROJECT ADDRESS

6734 Zumirez Drive, Malibu, CA 90265

PROJECT NOTES



REVISION SUMMARY

NO.	DATE	ISSUE
	2020.08.14	OWNER CHANGES
	2020.11.03	CDP SUBMITTAL
	2020.12.03	FUEL MODIFICATION UPDATE
	2021.03.29	BIOLOGY REVIEW REVISION

DRAWING DESCRIPTION

IRRIGATION SPECIFICATIONS

DRAWING NO.

L6.15

PROJECT 30530.00

DATE JULY 15, 2020

SCALE N/A

DRAWN BY HS

California Water Efficient Landscape Ordinance Worksheet							
City: MALIBU		Zumirez Residence					
Reference Evapotranspiration (ET <sub>a</sub> )		42.7		Project Type		Residential	
Hydrozone # / Planting Description <sup>a</sup>		Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area
							Estimated Total Water Use (ETWU) <sup>d</sup>
Regular Landscape Areas							
A) LOW water use-Planting	0.35	Drip	0.81	0.43	12058	5210	137936
B) MOD water use-Planting	0.60	Drip	0.81	0.74	2965	2196	58145
C) LOW water use-Planting	0.35	Overhead	0.75	0.47	3340	1559	41264
D)-HIGH water use-Pool	1.00		1.00	1.00	2080	2080	55066
E) NONE water use-Gravel Cover	0.00		1.00	0.00	1179	0	0
Totals					21622	11045	292,411
Special Landscape Areas							
				1	0	0	0
Totals					0	0	0
						ETWU Total	292,411
Maximum Annual Water Allowance (MAWA) <sup>f</sup>							314,831
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area		11045					
Total Area		21622					
Average ETAF		0.51					
All Landscape Areas							
Total ETAF x Area		11045					
Total Area		21622					
Average ETAF		0.51					
<div>Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.</div>							

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Project: Zumirez Residence  
City: MALIBU

<sup>a</sup> Hydrozone # / Planting Description e.g.  
1.) Front lawn  
2.) Low water use planting  
3.) Medium water use planting

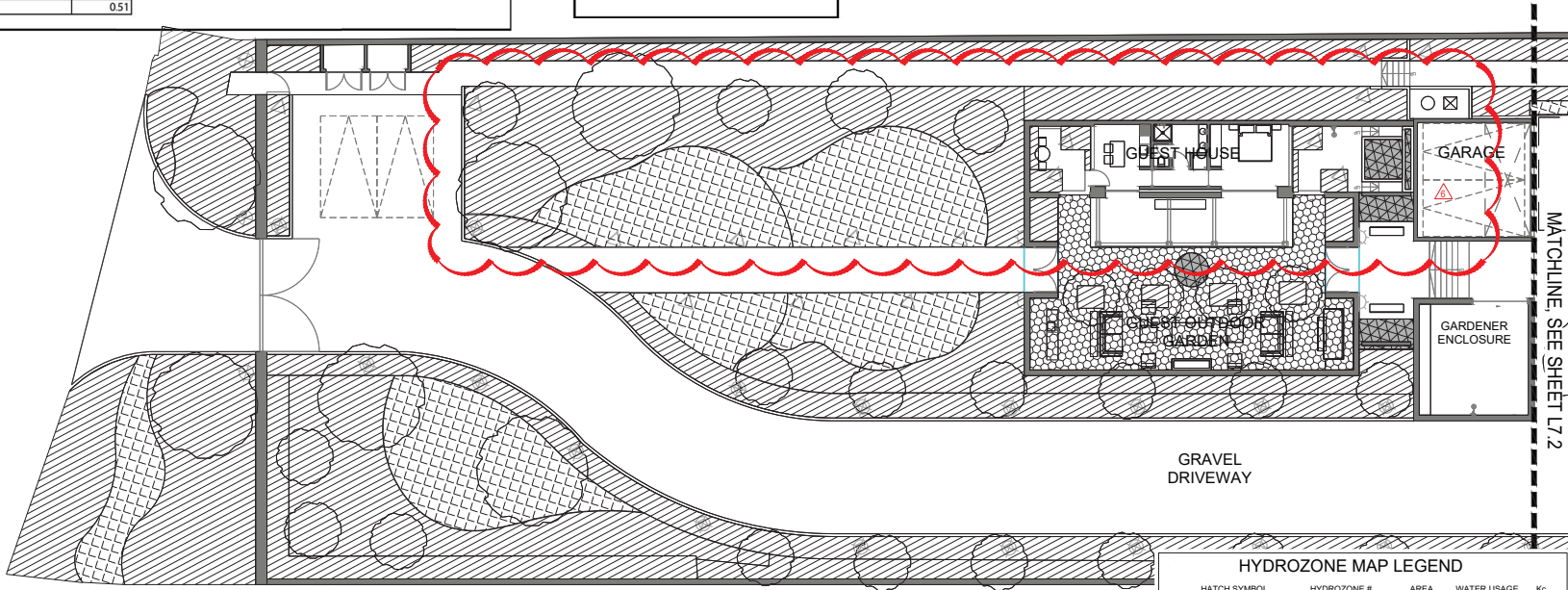
<sup>b</sup> Irrigation Method  
1.) Overhead Spray  
2.) Drip

<sup>c</sup> Irrigation Efficiency  
1.) 0.75 for Overhead Spray  
2.) 0.81 for Drip

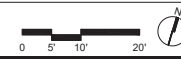
<sup>d</sup> ETWU (Estimated Total Water Required) =  
 $ET_a \times 0.62 \times ETAF_{avg} \times LA$   
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year

<sup>e</sup> MAWA (Maximum Annual Water Allowed) =  
 $(ET_a) (0.62) [ (ETAF \times LA) + ((1-ETAF) \times SLA) ]$   
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

California Water Efficient Landscape Ordinance Calculations				
MAWA (Maximum Annual Water Allowed) = $ET_a (0.62) [ (ETAF \times LA) + ((1-ETAF) \times SLA) ]$				
42.7 x .62	x	[ ( 0.55 x 21,622 ) + ( (1 - 0.55 ) x - ) ]	=	
26.47	x	[ ( 11,892 ) + ( ( 0.45 ) x - ) ]	=	
26.47	x	[ ( 11,892 ) + ( - ) ]	=	
26.47	x	11,892	=	314,831 gal.
ETWU (Estimated Total Water Use Required) = $ET_a \times 0.62 \times ETAF_{avg} \times LA$				
42.7 x .62	x	0.51 x 21,622	=	292,411 gal.
TOTAL WATER USE REDUCTION MAWA - ETWU = 22,421 gallons				



HYDROZONE MAP LEGEND				
HATCH SYMBOL	HYDROZONE #	AREA	WATER USAGE	Kc
[Hatching]	A - SHRUB, DRIP	12,058 SQ. FT.	LOW	.35
[Hatching]	B - SHRUB, DRIP	2,965 SQ. FT.	MOD	.60
[Hatching]	C - SHRUB, OVERHEAD	3,025 SQ. FT.	LOW	.35
[Hatching]	D - POOLS	2,080 SQ. FT.	N/A	1.00
[Hatching]	E - NON-IRRIGATED	1,179 SQ. FT.	N/A	.00
		21,307 SQ. FT.		



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Pamela B. Green, AIA  
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(415) 450-3443  
www.greenassociates.net

AS A CONDITION OF THE CONTRACT, THE DESIGNER MAY BE PROVIDED LIMITED THIRD-PARTY INFORMATION AND SHOULD BE USED FOR REFERENCE PURPOSES ONLY. THE DESIGNER OF THE ELECTRONIC FILED DOCUMENTS CONVEY THE DESIGNER'S OWN PROFESSIONAL OPINION. ONLY THE DESIGNER'S OWN COPY OF THE PROJECT DOCUMENTS MAY BE USED FOR THE PROJECT. ANY OTHER USE OF THE PROJECT DOCUMENTS WITHOUT THE DESIGNER'S WRITTEN PERMISSION IS PROHIBITED. THE DESIGNER'S WORK IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER'S WORK IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER'S WORK IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

**PROJECT**

**Zumirez**

**PROJECT ADDRESS**

6734 Zumirez Drive, Malibu, CA 90265

**PROJECT NOTES**

**REVISION SCHEDULE**

NO.	DATE	ISSUE
2020.08.14	OWNER CHANGES	
2020.11.03	CDP SUBMITTAL	
2020.12.03	FUEL MODIFICATION UPDATE	
2021.03.29	BIOLOGY REVIEW REVISION	
2021.04.23	BIOLOGY REVIEW REVISION	
2021.05.20	BIOLOGY REVIEW REVISION	

**DRAWING DESCRIPTION**

LANDSCAPE PLANTING  
HYDROZONE MAP

**DRAWING NO.**

**L7.1**

**PROJECT** 30530.00

**DATE** JULY 15, 2020

**SCALE** 1"=10'-0"

**DRAWN BY** HS

California Water Efficient Landscape Ordinance Worksheet							
City: MALIBU	Zumirez Residence						
Reference Evapotranspiration (ET <sub>r</sub> )		42.7	Project Type		Residential	0.55	
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
A) LOW water use-Planting	0.35	Drip	0.81	0.43	12058	5210	137936
B) MOD water use-Planting	0.60	Drip	0.81	0.74	2965	2196	58145
C) LOW water use-Planting	0.35	Overhead	0.75	0.47	3340	1559	41264
D)-HIGH water use-Pool	1.00		1.00	1.00	2080	2080	55066
E) NONE water use-Gravel Cover	0.00		1.00	0.00	1179	0	0
Totals					21622	11045	292,411
<b>Special Landscape Areas</b>							
				1	0	0	0
Totals					0	0	0
					ETWU Total		292,411
Maximum Annual Water Allowance (MAWA) <sup>e</sup>							314,831
<b>ETAF Calculations</b>							
<b>Regular Landscape Areas</b>							
Total ETAF x Area		11045					
Total Area		21622					
Average ETAF		0.51					
<div>Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.</div>							
<b>All Landscape Areas</b>							
Total ETAF x Area		11045					
Total Area		21622					
Average ETAF		0.51					

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Project: Zumirez Residence  
City: MALIBU

<sup>a</sup> Hydrozone # / Planting Description e.g.  
1.) Front lawn  
2.) Low water use planting  
3.) Medium water use planting

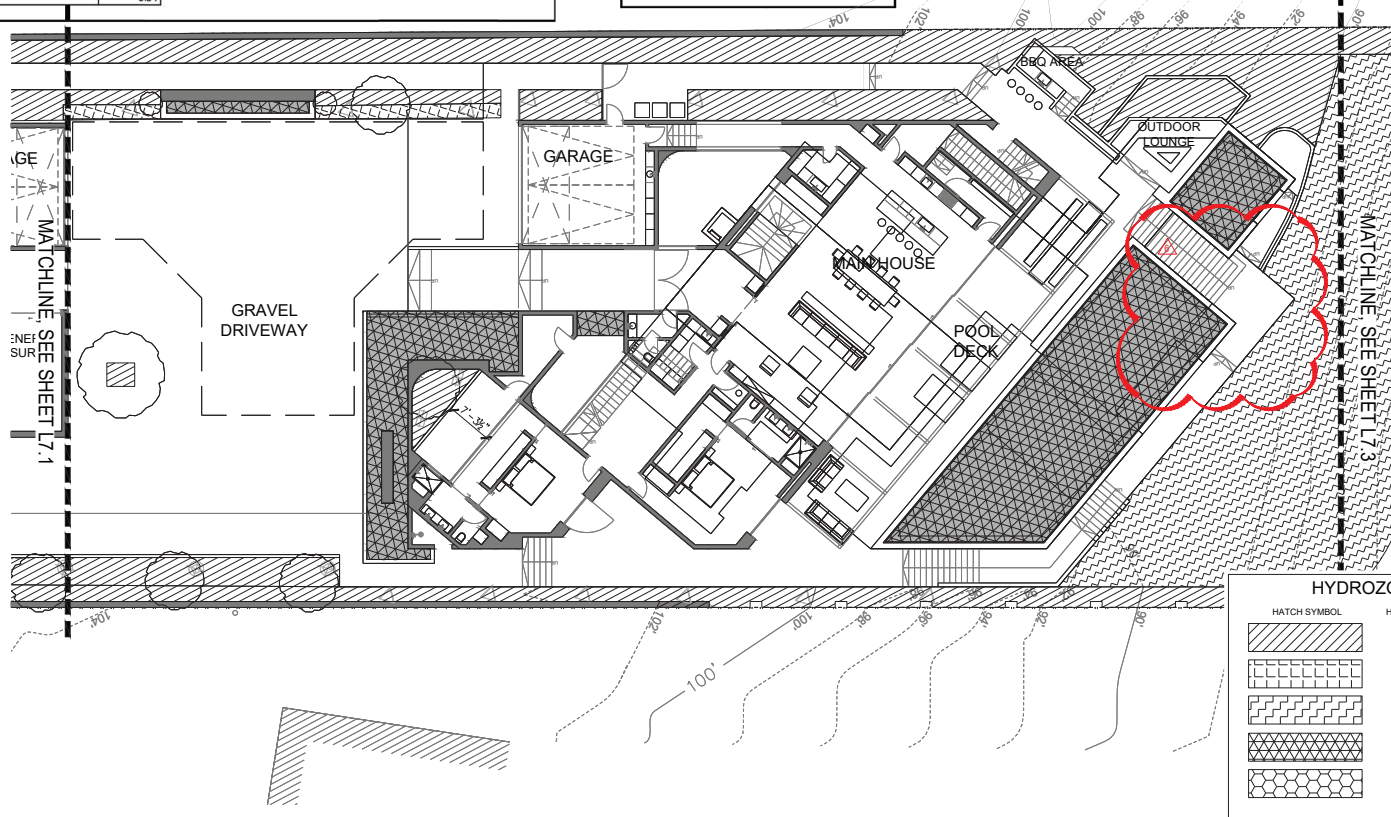
<sup>b</sup> Irrigation Method  
1.) Overhead Spray  
2.) Drip

<sup>c</sup> Irrigation Efficiency  
1.) 0.75 for Overhead Spray  
2.) 0.81 for Drip

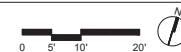
<sup>d</sup> ETWU (Estimated Total Water Use Required) =  
ET<sub>r</sub> x 0.62 x ETAF<sub>(avg)</sub> x LA  
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year

<sup>e</sup> MAWA (Maximum Annual Water Allowed) =  
(ET<sub>r</sub>) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

California Water Efficient Landscape Ordinance Calculations									
<b>MAWA (Maximum Annual Water Allowed) =</b> ET <sub>r</sub> (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] =									
42.7	x	.62	x	[(	0.55	x	21,622	)+(	((1 - 0.55) x - )]
				26.47	x	[(	11,892	)+(	((0.45) x - )]
				26.47	x	[(	11,892	)+(	( - )]
				26.47	x	11,892	=	314,831	gal.
<b>ETWU (Estimated Total Water Use Required) =</b> ET <sub>r</sub> x 0.62 x ETAF <sub>(avg)</sub> x LA =									
42.7	x	.62	x	0.51	x	21,622	=	292,411	gal.
<b>TOTAL WATER USE REDUCTION</b> MAWA - ETWU =									
				22,421 gallons					



HATCH SYMBOL	HYDROZONE #	AREA	WATER USAGE	Kc
	A - SHRUB, DRIP	12,058 SQ. FT.	LOW	.35
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	C - SHRUB, OVERHEAD	3,025 SQ. FT.	LOW	.35
	D - POOLS	2,080 SQ. FT.	N/A	1.00
	E - NON-IRRIGATED	1,179 SQ. FT.	N/A	.00
		21,307 SQ. FT.		



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**PROJECT**

**Zumirez**

**PROJECT ADDRESS**

6734 Zumirez Drive, Malibu, CA 90265

**PROJECT NOTES**

**REVISION SCHEDULE**

NO.	DATE	ISSUE
2020.08.14	OWNER CHANGES	
2020.11.03	CDP SUBMITTAL	
2020.12.03	FUEL MODIFICATION UPDATE	
2021.03.29	BIOLOGY REVIEW REVISION	
2021.04.23	BIOLOGY REVIEW REVISION	
2021.05.20	BIOLOGY REVIEW REVISION	

**DRAWING DESCRIPTION**

LANDSCAPE PLANTING  
HYDROZONE MAP

**DRAWING NO.**

**L7.2**

**PROJECT** 30530.00

**DATE** JULY 15, 2020

**SCALE** 1"=10'-0"

**DRAWN BY** HS





# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804  
(310) 456-2489 FAX (310) 456-7650

## BIOLOGY REVIEW REFERRAL SHEET

TO: City of Malibu Biologist

FROM: City of Malibu Planning Department

REVISED DATE 06/08/2021

PROJECT NUMBER: CDP 20-068

JOB ADDRESS: 6734 ZUMIREZ DR

APPLICANT / CONTACT: Chris Deleau, Schmitz and Associates, Inc.

APPLICANT ADDRESS: 28118 Agoura Rd. #103  
Agoura Hills, CA 91301

APPLICANT PHONE #: (818) 338-3636

APPLICANT FAX #:

APPLICANT EMAIL: cdeleau@schmitzandassociates.net

PLANNER: Didier Murillo

PROJECT DESCRIPTION: (N) SFR; 2nd unit; pool; cabana; demo existing house

TO: Malibu Planning Department and/or Applicant

FROM: City Biologist, Dave Crawford

\_\_\_\_\_ The project review package is INCOMPLETE and; CANNOT proceed through Final Planning Review until corrections and conditions from Biological Review are incorporated into the proposed project design (See Attached).

X  
\_\_\_\_\_ The project is APPROVED, consistent with City Goals & Policies associated with the protection of biological resources and CAN proceed through the Planning process.

\_\_\_\_\_ The project may have the potential to significantly impact the following resources, either individually or cumulatively: Sensitive Species or Habitat, Watersheds, and/or Shoreline Resources and therefore Requires Review by the Environmental Review Board (ERB).

\_\_\_\_\_  
Signature

6/21/21

\_\_\_\_\_  
Date

Additional requirements/conditions may be imposed upon review of plan revision

### Contact Information:

Dave Crawford, City Biologist, [dcrawford@malibucity.org](mailto:dcrawford@malibucity.org), (310) 456-2489, extension 277

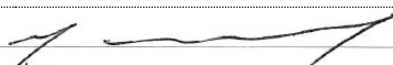


# City of Malibu

Biology • Planning Department  
23825 Stuart Ranch Road • Malibu, California • 90265-4861  
Phone (310) 456-2489 • Fax (310) 456-3356 • [www.malibucity.org](http://www.malibucity.org)

## BIOLOGY REVIEW SHEET

### PROJECT INFORMATION

Applicant: (name and email)	Chris Deleau, Schmitz and Associates, Inc. cdeleau@schmitzandassociates.net	
Project Address:	6734 ZUMIREZ DR Malibu, CA 90265	
Planning Case No.:	CDP 20-068	
Project Description:	(N) SFR; 2 <sup>nd</sup> unit; pool; cabana; demo existing house	
Date of Review:	June 21, 2021	
Reviewer:	Dave Crawford	Signature: 
Contact Information:	Phone: (310) 456-2489 ext 277	Email: dcrawford@malibucity.org

### SUBMITTAL INFORMATION

Site Plan:	6/8/21
Site Survey:	6/8/21
Landscape Plan:	6/8/21
Hydrozone Plan:	6/8/21
Irrigation Plan:	6/8/21
Fuel Modification Plan:	6/8/21
Grading Plan:	6/8/21
OWTS Plan:	6/8/21
Bio Assessment:	
Bio Inventory:	
Native Tree Survey:	12/29/20 (ESA)
Native Tree Protection Plan:	
Miscellaneous:	
Previous Reviews:	1/11/21 (Incomplete)

### REVIEW FINDINGS

Review Status:	<input type="checkbox"/> <b>INCOMPLETE:</b> Additional information and/or a response to the listed review comments is required.
	<input checked="" type="checkbox"/> <b>APPROVED:</b> The project has been approved with regards to biological impacts.
	<input type="checkbox"/> <b>CANNOT APPROVE AS SUBMITTED:</b> The proposed project does not conform to the requirements of the MMC and/or LCP.
	<input type="checkbox"/> <b>ERB:</b> This project has the potential to impact ESHA and may require review by the Environmental Review Board pursuant to LIP Section 4.4.4



**DISCUSSION:**

1. The Maximum Applied Water Allowance (MAWA) for this project totals 310,245 gallons per year (gpy). The Estimated Applied Water Use (EAWU) totals 288,519 gpy. Therefore, the project meets the Landscape Water Conservation Ordinance Requirements.

**RECOMMENDATIONS:**

1. The project is recommended for **APPROVAL** with the following conditions:
  - A. No new development is permitted on slopes of 4:1 (25%) or steeper.
  - B. Prior to installation of any landscaping, the applicant shall obtain plumbing permit for the proposed irrigation system from the Building Safety Division.
  - C. Prior to or at the time of a Planning final inspection, the property owner/applicant shall submit to the case planner a copy of the plumbing permit for the irrigation system installation that has been signed off by the Building Safety Division.
  - D. Prior to final Planning inspection or other final project sign off (as applicable), the applicant shall submit to the Planning Director for review and approval a certificate of completion in accordance with the Landscape Water Conservation Ordinance (MMC Chapter 9.22). The certificate shall include the property owner's signed acceptance of responsibility for maintaining the landscaping and irrigation in accordance with the approved plans and MMC Chapter 9.22. (form attached)
  - E. Prior to Final Plan Check Approval, if your property is serviced by the Los Angeles County Waterworks District No. 29, please provide landscape water use approval from that department. For approval contact:

**Nima Parsa**

Address: 23533 West Civic Center Way, Malibu, CA 90265-4804

Email: [Nparsa@DPW.LACOUNTY.GOV](mailto:Nparsa@DPW.LACOUNTY.GOV) (preferred)

Phone: (310) 317-1389

**Please note this action may require several weeks. As such, the applicant should submit their approved landscape plans to DPW as soon as feasible in order to avoid a delay at plan check.**

- F. Vegetation forming a view impermeable condition (hedge), serving the same function as a fence or wall, occurring within the side or rear yard setback shall be maintained at or below six feet in height. View impermeable hedges occurring within the front yard setback serving the same function as a fence or wall shall be maintained at or below 42 inches in height.
- G. Vegetation shall be situated on the property so as not to obstruct the primary view from private property at any given time (given consideration of its future growth).

- H. Invasive plant species, as determined by the City of Malibu, are prohibited.
  - I. No non-native plant species shall be approved greater than 50 feet from the residential structure.
  - J. The landscape plan shall prohibit the use of building materials treated with toxic compounds such as creosote and copper arsenate.
  - K. Grading shall be scheduled only during the dry season from April 1 - October 31. If it becomes necessary to conduct grading activities from November 1 – March 31, a comprehensive erosion control plan shall be submitted for approval prior to issuance of a grading permit and implemented prior to initiation of vegetation removal and/or grading activities.
  - L. Grading/excavation/vegetation removal scheduled between February 1 - September 15 will require nesting bird surveys by a qualified biologist prior to initiation of such activities. Surveys shall be completed no more than five days from proposed initiation of site preparation activities. Should active nests be identified, a buffer area no less than 150 feet (300 feet for raptors) shall be fenced off until it is determined by a qualified biologist that the nest is no longer active. A report discussing the results of the surveys shall be turned in to the City within two business days of completion of surveys.
  - M. Night lighting from exterior and interior sources shall be minimized. All exterior lighting shall be low intensity and shielded so it is directed downward and inward so that there is no offsite glare or lighting of natural habitat areas. Up-lighting is prohibited.
  - N. New fencing of any single area exceeding ½ acre shall be of an open rail-type design with a wooden rail at the top (instead of wire), be less than 40 inches high, and have a space greater than 14 inches between the ground and the bottom post or wire. A split rail design that blends with the natural environment is preferred.
2. **PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY**, the City Biologist shall inspect the project site and determine that all planning conditions to protect natural resources are in compliance with the approved plans.

-000-

If you have any questions regarding the above requirements, please contact the City Biologist office at your earliest convenience.

cc: Planning Project file  
Planning Department



# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4861  
(310) 456-2489 FAX (310) 456-3356 www.malibucity.org

## ENVIRONMENTAL HEALTH REVIEW REFERRAL SHEET

TO: City of Malibu Environmental Health Administrator

FROM: City of Malibu Planning Department

DATE: 12/29/2020

PROJECT NUMBER: CDP 20-068  
JOB ADDRESS: 6734 ZUMIREZ DR  
APPLICANT / CONTACT: Chris Deleau, Schmitz and Associates, Inc.  
APPLICANT ADDRESS: 28118 Agoura Rd. #103  
Agoura Hills, CA 91301  
APPLICANT PHONE #: (818) 338-3636  
APPLICANT FAX #:  
APPLICANT EMAIL: cdeleau@schmitzandassociates.net  
PROJECT DESCRIPTION: (N) SFR; 2nd unit; pool; cabana; demo existing house

TO: Malibu Planning Department and/or Applicant

FROM: City of Malibu Environmental Health Reviewer

☒ **Conformance Review Complete** for project submittals reviewed with respect to the City of Malibu Local Coastal Plan/Local Implementation Plan (LCP/LIP) and Malibu Municipal Code (MMC). The Conditions of Planning conformance review and plan check review comments listed on the attached review sheet(s) (or else handwritten below) shall be addressed prior to plan check approval.

☐ **Conformance Review Incomplete** for the City of Malibu LCP/LIP and MMC. The Planning stage review comments listed on the City of Malibu Environmental Health review sheet(s) shall be addressed prior to conformance review completion.

**OWTS Plot Plan:** ☐ **NOT REQUIRED**

☒ **REQUIRED (attached hereto)** ☐ **REQUIRED (not attached)**

  
Signature

January 8, 2021

Date



# City of Malibu


Environmental Health • Environmental Sustainability Department

23825 Stuart Ranch Road • Malibu, California • 90265-4861

Phone (310) 456-2489 • Fax (310) 456-7650 • [www.malibucity.org](http://www.malibucity.org)

## ENVIRONMENTAL HEALTH REVIEW SHEET

### PROJECT INFORMATION

Applicant: (name and email address)	Chris Deleau, Schmitz and Associates, Inc. <a href="mailto:cdeleau@schmitzandassociates.net">cdeleau@schmitzandassociates.net</a>	
Project Address:	<b>6734 Zumirez Drive</b> Malibu, California 90265	
Planning Case No.:	CDP 20-068	
Project Description:	(N) SFR; 2nd unit; pool; cabana; demo existing house	
Date of Review:	January 8, 2021	
Reviewer:	Matt Janousek	Signature: 
Contact Information:	Phone: (310) 456-2489 ext. 307	Email: <a href="mailto:mjanousek@malibucity.org">mjanousek@malibucity.org</a>

### SUBMITTAL INFORMATION

Architectural Plans:	Warren Garrett: Plans dated 11-20-2020 (received 12-30-2020)
Grading Plans:	AHSIRT: Plans dated 7-8-2020
Landscape Plans:	Girvin Associates: Plans dated 8-14-2020
OWTS Plan:	Solid Soils and Geologic Consultants: OWTS plan dated 8-2020
OWTS and Geology Report:	Solid Soils and Geologic Consultants: Geologic & Soils Engineering Report dated 8-4-2020
Miscellaneous:	
Previous Reviews:	

### REVIEW FINDINGS

Planning Stage:	<input checked="" type="checkbox"/> <b>CONFORMANCE REVIEW COMPLETE</b> for the City of Malibu Local Coastal Program/Local Implementation Plan (LIP) and Malibu Municipal Code (MMC). The listed conditions of Planning stage conformance review and plan check review comments shall be addressed prior to plan check approval.
	<input type="checkbox"/> <b>CONFORMANCE REVIEW INCOMPLETE</b> for the City of Malibu LIP and MMC. The listed Planning stage review comments shall be addressed prior to conformance review completion.
OWTS Plot Plan:	<input type="checkbox"/> <b>NOT REQUIRED</b>
	<input checked="" type="checkbox"/> <b>REQUIRED (attached hereto)</b> <input type="checkbox"/> <b>REQUIRED (not attached)</b>

Based upon the project description and submittal information noted above, a **conformance review** was completed for a new advanced onsite wastewater treatment system (OWTS) proposed to serve the onsite wastewater treatment and disposal needs of the subject property. The proposed advanced OWTS meets the minimum requirements of the Malibu Municipal Code (MMC) and the City of Malibu Local Coastal Program (LCP)/Local Implementation Plan (LIP). Please distribute this review sheet to all of the project consultants and, prior to final approval, provide a coordinated submittal addressing all conditions for final approval and plan check items.



The conditional conformance findings hereby transmitted complete the Planning stage Environmental Health review of the subject development project. In order to obtain Environmental Health final approval of the project OWTS Plot Plan and associated construction drawings (during Building Safety plan check), all conditions and plan check items listed below must be addressed through submittals to the Environmental Health office.

**Conditions of Planning Conformance Review for Building Plan Check Approval:**

- 1) **OWTS on Architectural, Grading, and Landscape Plans:** The final Architectural Site Plan, Grading Plans, and Landscape Plans must show: (1) the existing OWTS components clearly labeled "to be abandoned", and (2) the proposed advanced OWTS, including the treatment tank, present/future seepage pits, and all lines of connection from the single-family residence and guest house. The respective plans must clearly demonstrate minimum required setbacks in accordance with Table 15.42.030(E) of the Malibu Municipal Code.
- 2) **Final Onsite Wastewater Treatment System (OWTS) Plot Plan:** A final plot plan prepared by a City Registered OWTS Designer shall be submitted showing an OWTS design meeting the minimum requirements of the Malibu Municipal Code (MMC) and the Local Coastal Program (LCP)/Local Implementation Plan (LIP). The plans must include all necessary construction details, the proposed drainage plan for the developed property, and the proposed landscape plan for the developed property. The OWTS Plot Plan shall show essential features of the OWTS, existing improvements, and proposed/new improvements. **The plot plan must fit on an 11" x 17" sheet leaving a 5" left margin clear to provide space for a City-applied legend.** If the plan scale is such that more space is needed to clearly show construction details and/or all necessary setbacks, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health).
- 3) **Final OWTS Design Report, Plans, and System Specifications:** A final OWTS design report and large set of construction drawings with system specifications (four sets) shall be submitted to describe the OWTS design basis and all components proposed for use in the construction of the OWTS. All plans and reports must be signed by a City Registered OWTS Designer and the plans stamped by the project Geologist, Coastal Engineer, and Structural Engineer as applicable. The final OWTS design report and construction drawings shall be submitted with the designer's signature, professional registration number, and stamp (if applicable).

The final OWTS design submittal shall contain the following information (in addition to the items listed above).

- a. Required treatment capacity for wastewater treatment and disinfection systems. The treatment capacity shall be specified in terms of flow rate, gallons per day (gpd), and shall be supported by calculations relating the treatment capacity to the number of bedroom equivalents, plumbing drainage fixture units, and the subsurface effluent dispersal system acceptance rate. The drainage fixture unit count must be clearly identified in association with the design treatment capacity, even if the design is based on the number of bedrooms. Average and peak rates of hydraulic loading to the treatment system shall be specified in the final design.



- b. Sewage and effluent pump design calculations (as applicable).
  - c. Description of proposed wastewater treatment and/or disinfection system equipment. State the proposed type of treatment system(s) (e.g., aerobic treatment, textile filter, ultraviolet disinfection, etc.); major components, manufacturers, and model numbers for "package" systems; and the design basis for engineered systems.
  - d. Specifications, supporting geology information, and percolation test results for the subsurface effluent dispersal portion of the onsite wastewater disposal system. This must include the proposed type of effluent dispersal system (drainfield, trench, seepage pit, subsurface drip, etc.) as well as the system's geometric dimensions and basic construction features. Supporting calculations shall be presented that relate the results of soils analysis or percolation/infiltration tests to the projected subsurface effluent acceptance rate, including any unit conversions or safety factors. Average and peak rates of hydraulic loading to the effluent dispersal system shall be specified in the final design. The projected subsurface effluent acceptance rate shall be reported in units of total gallons per day (gpd) and gallons per square foot per day (gpsf). Specifications for the subsurface effluent dispersal system shall be shown to accommodate the design hydraulic loading rate (i.e., average and peak OWTS effluent flow, reported in units of gpd). The subsurface effluent dispersal system design must take into account the number of bedrooms, fixture units, and building occupancy characteristics.
  - e. All OWTS design drawings shall be submitted with the wet signature and typed name of the OWTS designer. If the plan scale is such that more space than is available on the 11" x 17" plot plan is needed to clearly show construction details, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health).  
[Note: For OWTS final designs, full-size plans for are also required for review by Building & Safety and Planning.]
- 4) **Certified Fixture Unit Worksheets:** A fixture unit worksheet showing all existing and proposed bedrooms and drainage fixture units (DFU) must be completed and certified by an Architect, Civil Engineer, Environmental Health Specialist, City Registered Practitioner, or an "A", "C-42", "C-36" Contractor License. The bedroom and DFU counts indicated on the worksheet must match the final architectural plans. Please submit separate worksheets for each structure that flows to the OWTS.
- 5) **Existing OWTS to be Abandoned:** Final plans shall clearly show the locations of all existing OWTS components (serving pre-existing development) to be abandoned and provide procedures for the OWTS' proper abandonment in conformance with the Malibu Municipal Code.
- 6) **Worker Safety Note and Abandonment of Existing OWTS:** The following note shall be added to the plan drawings included with the OWTS final design: *"Prior to commencing work to abandon, remove, or replace existing Onsite Wastewater Treatment System (OWTS) components an "OWTS Abandonment Permit" shall be obtained from the City of Malibu. All work performed in the OWTS abandonment, removal, or replacement area shall be performed in strict accordance with all applicable federal, state, and local environmental and occupational safety and health regulatory requirements. The obtainment of any such required permits or approvals for this scope of work shall be the responsibility of the applicant and their agents."*
- 7) **Building Plans:** All project architectural plans and grading/drainage plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.



- 8) **Outdoor Drainage Fixture Covers:** The final project plans must include details for permanent covers for all outdoor showers and drainage fixtures that flow to the OWTS.
- 9) **Proof of Ownership:** Proof of ownership of subject property shall be submitted.
- 10) **Operations & Maintenance Manual:** An operations and maintenance manual specified by the OWTS designer shall be submitted to the property owner and maintenance provider of the proposed advanced OWTS.
- 11) **Maintenance Contract:** A maintenance contract executed between the owner of subject property and an entity qualified in the opinion of the City of Malibu to maintain the proposed advanced onsite wastewater treatment system shall be submitted prior to Environmental Health approval. **Please note only original "wet signature" documents are acceptable.**
- 12) **Advanced Onsite Wastewater Treatment System (OWTS) Covenant:** A covenant running with the land shall be executed between the City of Malibu and the holder of the fee simple absolute as to subject real property and recorded with the City of Malibu Recorder's Office. Said covenant shall serve as constructive notice to any future purchaser for value that the OWTS serving subject property is an advanced method of sewage disposal pursuant to the City of Malibu Municipal Code. Said covenant shall be provided by the City of Malibu Environmental Health Administrator. **Please submit a certified copy issued by the City of Malibu Recorder.**
- 13) **Project Geologist/Geotechnical Consultant Approval:** Project Geologist/Geotechnical Consultant final approval of the OWTS plan shall be submitted to the Environmental Health Administrator.
- 14) **City of Malibu Geologist/Geotechnical Approval:** City of Malibu geotechnical staff final approval of the OWTS plan shall be submitted to the Environmental Health Administrator.
- 15) **City of Malibu Public Works Approval:** City of Malibu Public Works final approval of the OWTS plan shall be submitted to the Environmental Health Administrator.
- 16) **City of Malibu Planning Approval:** City of Malibu Planning Department final approval of the OWTS plan shall be obtained.
- 17) **Environmental Health Final Review Fee:** A final fee in accordance with the adopted fee schedule at the time of final approval shall be paid to the City of Malibu for Environmental Health review of the OWTS design and system specifications.



- 18) Operating Permit Application and Fee:** In accordance with Malibu Municipal Code, an application shall be made to the Environmental Health office for an Onsite Wastewater Treatment System operating permit. An operating permit fee in accordance with the adopted fee schedule at the time of final approval shall be submitted with the application.

-o0o-

If you have any questions regarding the above requirements, please contact the Environmental Health office at your earliest convenience.

cc: Environmental Health file  
Planning Department



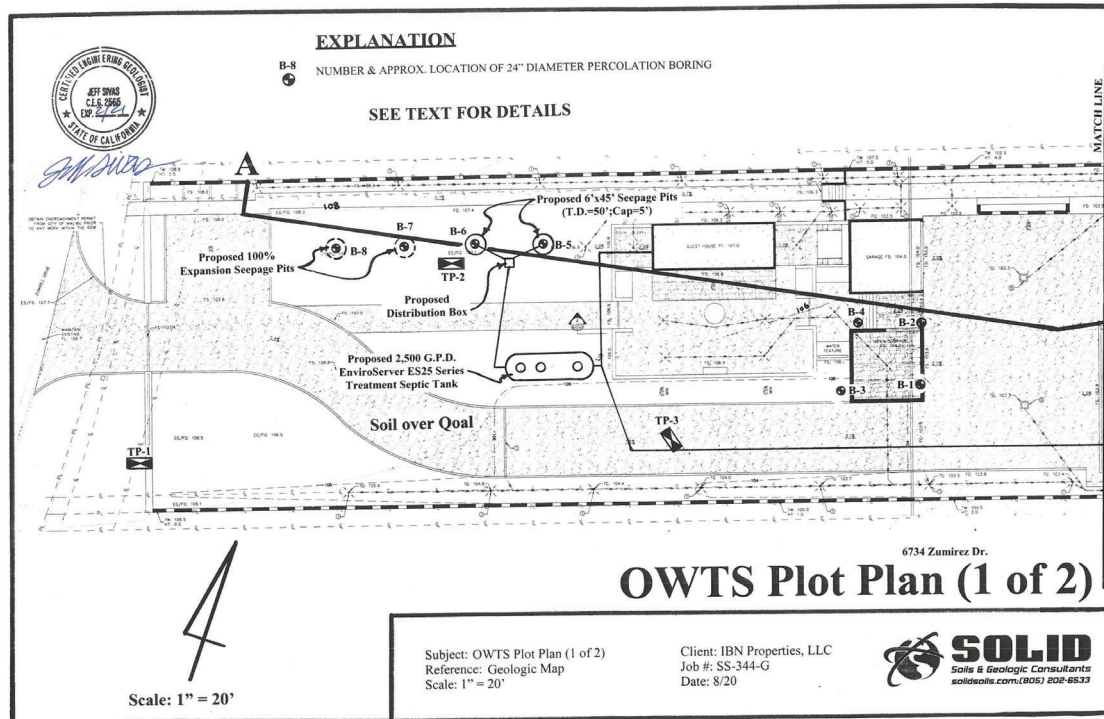
6734 ZUMIREZ DRIVE (CDP 20-068)  
MALIBU, CA 90265

S.F.D.:	5 Bedroom/119 Fixture Units (N)
GUEST HOUSE:	1 Bedroom/16 Fixture Units (N)
TREATMENT:	7,540 Gallon MicroSepTec ES25
TANK:	with UV Disinfection Unit (N)
ACTIVE:	2 - 6' x 45' BI w/5' Cap (N) (projected: B-5, B-6)
FUTURE:	2 - 6' x 45' BI w/5' Cap (F) (projected: B-7, B-8)
PERC RATE:	12,510 gpd/14.8 gsf (proj: B-5) 12,450 gpd/14.7 gsf (proj: B-6) 13,590 gpd/16.0 gsf (proj: B-7) 3,687 gpd/4.35 gsf (proj: B-8)
DESIGNER:	Jeff Sivas, CEG 2565
REFERENCE:	Solid Soils and Geologic Consultants: Geologic & Soils Engineering Report dated 8-4-2020

#### NOTES:

1. This conformance review is for a 5 bedroom (119 fixture units) new single family dwelling and a 1 bedroom (16 fixture units) new guest house. The new advanced onsite wastewater treatment system conforms to the requirements of the Malibu Municipal Code (MMC) and the Local Coastal Program (LCP).
2. This review relates only to the minimum requirements of the MMC, and the LCP, and does not include an evaluation of any geological or other potential problems, which may require an alternative method of review treatment.
3. This review is valid for one year, or until MMC, and/or LCP, and/or Administrative Policy changes render it noncomplying.

CITY OF MALIBU ENVIRONMENTAL SUSTAINABILITY DEPT. ENVIRONMENTAL HEALTH	
<b>CONFORMANCE REVIEW</b>	
SIGNATURE: <i>[Signature]</i>	DATE: 1/8/2021
THIS IS NOT AN APPROVAL. FINAL APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS	





# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804  
(310) 456-2489 FAX (310) 456-7650

## FIRE DEPARTMENT REVIEW REFERRAL SHEET

TO: Los Angeles County Fire Department

FROM: City of Malibu Planning Department

DATE: 12/29/2020

PROJECT NUMBER: CDP 20-068

JOB ADDRESS: 6734 ZUMIREZ DR

APPLICANT / CONTACT: Chris Deleau, Schmitz and Associates, Inc.

APPLICANT ADDRESS: 28118 Agoura Rd. #103  
Agoura Hills, CA 91301

APPLICANT PHONE #: (818) 338-3636

APPLICANT FAX #:

PROJECT DESCRIPTION: (N) SFR; 2nd unit; pool; cabana; demo existing house

TO: Malibu Planning Department and/or Applicant

FROM: Fire Prevention Engineering Assistant

Compliance with the conditions checked below is required prior to Fire Department approval.

The project DOES require Fire Department Plan Review and Developer Fee payment	<u>X</u>
The project DOES NOT require Fire Department Plan Review	<u>      </u>
The required fire flow for this project is <u>1,250</u> gallons per minute at 20 pounds per square inch for a 1 hour duration. (Provide flow information from the water dept.)	<u>X</u>
The project is required to have an interior automatic fire sprinkler system.	<u>X</u>
Final Fuel Modification Plan Approval is required prior to Fire Department Approval	<u>X</u>

Conditions below marked "not approved" shall be corrected on the site plan and resubmitted for Fire Department approval.

	App'd	N/app'd
Required Fire Department vehicular access (including width and grade %) as shown from the public street to the proposed project.	<u>X</u>	<u>      </u>
Required and/or proposed Fire Department Vehicular Turnaround	<u>X</u>	<u>      </u>
Required 5 foot wide Fire Department Walking Access (including grade %)	<u>X</u>	<u>      </u>
Width of proposed driveway/access roadway gates	<u>X</u>	<u>      </u>

\*County of Los Angeles Fire Department Approval Expires with City Planning permits expiration, revisions to the County of Los Angeles Fire Code or revisions to Fire Department regulations and standards.

\*\*Minor changes may be approved by Fire Prevention Engineering, provided such changes achieve substantially the same results and the project maintains compliance with the County of Los Angeles Fire Code valid at the time revised plans are submitted. Applicable review fees shall be required.

C. KENNELLY

SIGNATURE

8-12-2021

DATE

Additional requirements/conditions may be imposed upon review of complete architectural plans.  
The Fire Prevention Engineering may be contacted by phone at (818) 880-0341 or at the Fire Department Counter:  
26600 Agoura Road, Suite 110, Calabasas, CA 91302; Hours: Monday – Thursday between 7:00 AM and 11:00 AM

Rev 04/21/10 mr



# City of Malibu

23825 Stuart Ranch Road • Malibu, California 90265-4861  
(310) 456-2489 • Fax (310) 456-3356 • [www.malibucity.org](http://www.malibucity.org)

## GEOTECHNICAL REVIEW SHEET

### Project Information

**Date:** May 12, 2021 **Review Log #:** 4702  
**Site Address:** 6734 Zumirez Drive  
**Lot/Tract/PM #:**  
**Applicant/Contact:** Chris Deleau, [cdeleau@schmitzandassociates.net](mailto:cdeleau@schmitzandassociates.net) **Planning #:** CDP 20-068  
**Contact Phone #:** (818) 338-3636 **Fax#:** **BPC/GPC #:**  
**Project Type:** Demolish existing residence, NSFR, guest house, pool and cabana, storage building, NOWTS. **Planner:**

### Submittal Information

**Consultant(s)** / **Report** Solid Soils and Geologic Consultants, Inc. (Sivas, CEG 2565; Simon RCE 82610): **3-26-21**, 1-27-21, 8-4-20  
**Date(s):**  
(Current submittal(s) in **Bold**.)  
Grading & Drainage Plan by Ahsirt Engineering, Inc., Sheets G1 thru G4, dated **7-8-20**.  
Architectural Plans by Warren Garrett dated **11-20-20**.  
Architectural Survey by Design Studio, Inc., Sheets A-100 and A-101 **7-7-20**.  
**Previous Reviews:** 2-24-21, 1-15-21

### Review Findings

#### Coastal Development Permit Review

- ☒ The revised residential development project is **APPROVED** from a geotechnical perspective.  
☐ The revised residential development project is **NOT APPROVED** from a geotechnical perspective.

#### Building Plan-Check Stage Review

- ☒ Awaiting Building Plan Check submittal. Please respond to the listed 'Building Plan-Check Stage Review Comments' AND review and incorporate the attached 'Geotechnical Notes for Building Plan Check' into the plans.  
☐ **APPROVED** from a geotechnical perspective. Please review the attached 'Geotechnical Notes for Building Plan Check' and incorporate into Building Plan-Check submittals.  
☐ **NOT APPROVED** from a geotechnical perspective. Please respond to the listed 'Building Plan-Check Stage Review Comments' AND review and incorporate the attached 'Geotechnical Notes for Building Plan Check' into the plans.

### Remarks

The referenced Architectural and Grading plans as well as the geotechnical report have been reviewed by the City from a geotechnical perspective. The proposed project includes demolishing the existing residence and guest house, and the construction of new single-family residence with basement, guest house, detached garage, pool (**with no infinity edge**) and spa, and storage building. The proposed development also includes a new Onsite Wastewater Treatment System (OWTS).

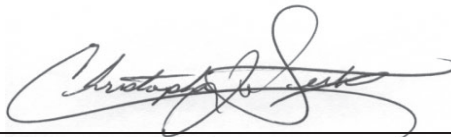
Grading will include 6,840 cubic yards of removal and recompaction (3,420 cubic yard of cut and 3,420 cubic yard of fill), 1,320 cubic yards of exempt understructure cut, 210 cubic yards of safety cut, and 235 cubic yards of non-exempt cut, 280 cubic yards of non-exempt fill. The balance of grading will result in 1,915 cubic yards of export.

**Building Plan-Check Stage Review Comments:**

1. Please submit a fee of \$1,016.00 to City geotechnical staff for building plan check review.
  2. The consultant should discuss and evaluate as necessary the potential for lateral surcharge on basement sidewalls due to adjacent structures/foundations using an appropriate method of analyses (e.g.: 1- Spangler & Handy {1982}, Soil Engineering, fourth Edition, Harper & Row, New York. 2- Navy Design Manual NAVFAC DM-7.2, Figures 11 & 12). Using the 1:1 criterion for lateral surcharge is not acceptable unless substantiated by analyses and/or references. Mitigation measures should be recommended, as necessary.
  3. Please include the following note on the foundation plans and details: *“An evaluation of soil Expansion Index shall be made in accordance with Section 6.2.1 of the City of Malibu’s geotechnical guidelines at the completion of grading by the Project Geotechnical Consultant, who shall provide appropriate recommendations, as necessary.”*
  4. Please include the following note on the foundation plans and details: *“An evaluation of soil corrosivity shall be made in accordance with Section 6.2.1 of the City of Malibu’s geotechnical guidelines at the completion of grading by the Project Geotechnical Consultant, who shall provide appropriate recommendations”.*
  5. Please include the following note on the plans, as appropriate: *“The Project Geotechnical Consultant shall prepare an as-built report documenting the installation of the pile foundation elements for review by City Geotechnical staff. The report shall include total depths of the piles, minimum depth into the recommended bearing material, actual depth into the recommended bearing material, and a map depicting the locations of the piles.”*
  6. Two sets of final grading, retaining wall, swimming pool/spa, tennis court, and residence plans (**APPROVED BY BUILDING AND SAFETY**) incorporating the Project Geotechnical Consultant’s recommendations and items in this review sheet must be **reviewed and wet stamped and manually signed by the Project Engineering Geologist and Project Geotechnical/Civil Engineer**. City geotechnical staff will review the plans for conformance with the Project Geotechnical Consultants’ recommendations and items in this review sheet over the counter at City Hall. **Appointments for final review and approval of the plans may be made by calling or emailing City Geotechnical staff.**
1. ELECTRONIC PLANS: If final foundation and civil plans are digitally signed and stamped by the Project Geotechnical Consultant, as allowed under Board of Registration For Professional Engineers and Land Surveyors (2020 PE & PLS Board Rules (16 CCR §§400-476), the Plan Review Letter must contain the following:
    - Project description – Address, scope, including structures being permitted (e.g. pool, guest house etc.).
    - Plan set information - The date and preparer of the plan set reviewed; this must match the plan set that was submitted to the city for final approval.
    - Report references -All applicable geotechnical or coastal engineering reports need to be referenced.
    - Approval of specific plan sheets reviewed – List all plan sheets approved, e.g. civil (grading and drainage) as well as structural.
    - Licensed Professional signature and stamp - The letter must be signed and stamped by all licensed professionals who signed the reports.

Please direct questions regarding this review sheet to City Geotechnical staff listed below.

Engineering Geology Review by:



Christopher Sexton, C.E.G. #1441, Exp. 11-30-20  
Engineering Geology Reviewer (805-496-1222)  
Email: [chris@geodynamics-inc.com](mailto:chris@geodynamics-inc.com)

5/12/21  
Date

Geotechnical Engineering Review by



Ali Abdel-Haq, G.E. #2308, Exp. 12-31-21  
Geotechnical Engineering Reviewer (805-496-1222)  
Email: [ali@geodynamics-inc.com](mailto:ali@geodynamics-inc.com)

5/12/21  
Date

*This review sheet was prepared by representatives of Cotton, Shires and Associates, Inc. and GeoDynamics, Inc., contracted through Cotton, Shires and Associates, Inc., as an agent of the City of Malibu.*



**COTTON, SHIRES AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS AND GEOLOGISTS



**GeoDynamics, Inc.**

Applied Earth Sciences  
Geotechnical Engineering & Engineering Geology Consultants



# City of Malibu

– GEOTECHNICAL –

## NOTES FOR BUILDING PLAN-CHECK

The following standard items should be incorporated into Building Plan-Check submittals, as appropriate:

1. One set of grading, retaining wall, swimming pool/spa, tennis court, and residence plans, incorporating the Project Geotechnical Consultant's recommendations and items in this review sheet, must be submitted to City geotechnical staff for review. **Additional review comments may be raised at that time that may require a response.**
2. Show the address and phone number of the Project Geotechnical Consultant(s) on the cover sheet of the Plans.
3. Include the following note on all the Foundation Plans: *"All foundation excavations must be observed and approved by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
4. Include the following note on Grading and Foundation Plans: *"Subgrade soils shall be tested for Expansion Index prior to pouring footings or slabs; Foundation Plans shall be reviewed and revised by the Project Geotechnical Consultant, as appropriate."*
5. Foundation setback distances from descending slopes shall be in accordance with Section 1808 of the Malibu Building Code, or the requirements of the Project Geotechnical Consultant's recommendations, whichever are more stringent. Show minimum foundation setback distances on the foundation plans, as applicable.
6. The Foundation Plans for the proposed structures shall clearly depict the embedment material and minimum depth of embedment for the foundations in accordance with the Project Geotechnical Consultant's recommendations.
7. Show the onsite wastewater treatment system on the Site Plans.
8. Please contact the Building and Safety Department regarding the submittal requirements for a grading and drainage plan review.

### **Grading Plans (as Applicable)**

1. Grading Plans shall clearly depict the limits and depths of overexcavation, as applicable.
2. Prior to final approval of the project, an as-built compaction report prepared by the Project Geotechnical Consultant must be submitted to the City for review. The report must include the results of all density tests as well as a map depicting the limits of fill, locations of all density tests, locations and elevations of all removal bottoms, locations and elevations of all keyways and back drains, and locations and elevations of

all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. This comment must be included as a note on the grading plans.

### **Retaining Walls (As Applicable)**

1. Show retaining wall backdrain and backfill design, as recommended by the Project Geotechnical Consultant, on the Plans.
2. Retaining walls separate from a residence require separate permits. Contact the Building and Safety Department for permit information. One set of retaining wall plans shall be submitted to the City for review by City geotechnical staff. Additional concerns may be raised at that time which may require a response by the Project Geotechnical Consultant and applicant.



# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4861  
(310) 456-2489 FAX (310) 456-7650

## PUBLIC WORKS REVIEW REFERRAL SHEET

TO: Public Works Department

FROM: City of Malibu Planning Department

DATE: 12/29/2020

PROJECT NUMBER: CDP 20-068

JOB ADDRESS: 6734 ZUMIREZ DR

APPLICANT / CONTACT: Chris Deleau, Schmitz and Associates, Inc.

APPLICANT ADDRESS: 28118 Agoura Rd. #103  
Agoura Hills, CA 91301

APPLICANT PHONE #: (818) 338-3636

APPLICANT FAX #: \_\_\_\_\_

APPLICANT EMAIL: cdeleau@schmitzandassociates.net

PROJECT DESCRIPTION: (N) SFR; 2nd unit; pool; cabana; demo existing house

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TO: Malibu Planning Department and/or Applicant

FROM: Public Works Department

       The following items described on the attached memorandum shall be addressed and resubmitted.

  X   The project was reviewed and found to be in conformance with the City's Public Works and LCP policies and CAN proceed through the Planning process.

Edward Rodriguez

SIGNATURE

January 12, 2021

DATE



# City of Malibu

## MEMORANDUM

To: Planning Department

From: Public Works Department  
Edward Rodriguez, Associate Civil Engineer

Date: January 12, 2021

Re: Conditions of Approval for 6734 Zumeriz Dr., CDP 20-068

The Public Works Department has reviewed the plans submitted for the above referenced project. Based on this review sufficient information has been submitted to confirm that conformance with the Malibu Local Coastal Plan (LCP) and the Malibu Municipal Code (MMC) can be attained. Prior to the issuance of building and grading permits, the applicant shall comply with the following conditions.

### STREET IMPROVEMENTS

1. This project proposes to construct a new driveway within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant shall obtain encroachment permits from the Public Works Department for the proposed driveway. The driveway shall be constructed of either 6-inches of concrete over 4-inch of aggregate base, or 4-inches of asphalt concrete over 6-inches of aggregate base. The driveway shall be flush with the existing grades with no curbs.
2. Several **existing** private improvements **are** located within the City's right-of-way, such as (but not limited to) landscaping, railroad ties, fencing. These improvements are required to be removed as part of this project and must be shown on the plans. The applicant shall place notes on the plans for the removal of existing encroachments within the City's right-of-way. Prior to the Public Works Department's approval of the grading or building permit, the applicant shall obtain encroachment permits from the Public Works Department for the removal of the private improvements within the City's right-of-way.

### GRADING AND DRAINAGE

3. Clearing and grading during the rainy season (extending from November 1 to March 31) shall be prohibited for development LIP Section 17.3.1 that:
  - Is located within or adjacent to ESHA, or



- Includes grading on slopes greater than 4:1
  - Approved grading for development that is located within or adjacent to ESHA or on slopes greater than 4:1 shall not be undertaken unless there is sufficient time to complete grading operations before the rainy season. If grading operations are not completed before the rainy season begins, grading shall be halted and temporary erosion control measures shall be put into place to minimize erosion until grading resumes after March 31, unless the City determines that completion of grading would be more protective of resources
4. Exported soil from a site shall be taken to the County Landfill or to a site with an active grading permit and the ability to accept the material in compliance with the City's LIP Section 8.3. **A note shall be placed on the project that addresses this condition.**
  5. A grading and drainage plan shall be approved containing the following information prior to the issuance of grading permits for the project.
    - Public Works Department General Notes
    - The existing and proposed square footage of impervious coverage on the property shall be shown on the grading plan (including separate areas for buildings, driveways, walkways, parking, tennis courts and pool decks).
    - The limits of land to be disturbed during project development shall be delineated on the grading plan and a total area shall be shown on the plan. Areas disturbed by grading equipment beyond the limits of grading, areas disturbed for the installation of the septic system, and areas disturbed for the installation of the detention system shall be included within the area delineated.
    - The grading limits shall include the temporary cuts made for retaining walls, buttresses, and over excavations for fill slopes and shall be shown on the grading plan.
    - If the property contains trees that are to be protected they shall be highlighted on the grading plan.
    - If the property contains rare and endangered species as identified in the resources study the grading plan shall contain a prominent note identifying the areas to be protected (to be left undisturbed). Fencing of these areas shall be delineated on the grading plan if required by the City Biologist.
    - Private storm drain systems shall be shown on the grading plan. Systems greater than 12-inch diameter shall also have a plan and profile for the system included with the grading plan.
    - Public storm drain modifications shown on the grading plan shall be approved by the Public Works Department prior to the issuance of the grading permit.
  6. A digital drawing (AutoCAD) of the project's private storm drain system, public storm drain system within 250 feet of the property limits, and post-construction BMP's shall be submitted to the Public Works Department prior to the issuance of grading or building permits. The digital drawing shall adequately show all storm drain lines, inlets, outlet, post-construction



BMP's and other applicable facilities. The digital drawing shall also show the subject property, public or private street, and any drainage easements.

7. The applicant shall label all City/County storm drain inlets within 250 feet from each property line per the City of Malibu's standard label template. A note shall be placed on the project plans that address this condition.

## STORMWATER

8. The ocean between Latigo Point and the West City limits has been established by the State Water Resources Control Board as an Area of Special Biological Significance (ASBS) as part of the California Ocean Plan. This designation allows discharge of storm water only where it is essential for flood control or slope stability, including roof, landscape, road and parking lot drainage, to prevent soil erosion, only occurs during wet weather, and is composed of only storm water runoff. The applicant shall provide a drainage system that accomplishes the following:
  - Installation of **permanent** BMPs that are designed to treat the potential pollutants in the storm water runoff so that it does not alter the natural ocean water quality. These pollutants include trash, oil and grease, metals, bacteria, nutrients, pesticides, herbicides and sediment.
  - Prohibits the discharge of trash.
  - Only discharges from existing storm drain outfalls are allowed. No new outfalls will be allowed. Any proposed or new storm water discharged shall be routed to existing storm drain outfalls and shall not result in any new contribution of waste to the ASBS (i.e. no additional pollutant loading).
  - Elimination of non-storm water discharges.
9. A Storm Water Pollution Prevention Plan shall be provided prior to the issuance of the Grading/Building permits for the project. This plan shall include an Erosion and Sediment Control Plan (ESCP) that includes, but not limited to:

Erosion Controls	Hydraulic Mulch
	Hydroseeding
	Soil Binders
	Straw Mulch
	Geotextiles and Mats
	Wood Mulching
Sediment Controls	Fiber Rolls
	Gravel Bag Berm
	Street Sweeping and/ or Vacuum
	Storm Drain Inlet Protection
	Scheduling
	Check Dam
Additional Controls	Wind Erosion Controls



	Stabilized Construction Entrance/ Exit
	Stabilized Construction Roadway
	Entrance/ Exit Tire Wash
Non-Stormwater Management	Vehicle and Equipment Washing
	Vehicle and Equipment Fueling
	Vehicle and Equipment Maintenance
Waste Management	Material Delivery and Storage
	Spill Prevention and Control

All Best Management Practices (BMP) shall be in accordance to the latest version of the California Stormwater Quality Association (CASQA) BMP Handbook. Designated areas for the storage of construction materials, solid waste management, and portable toilets must not disrupt drainage patterns or subject the material to erosion by site runoff.

10. Prior to the approval of any permits and prior to the applicant submitting the required Construction General Permit documents to the State Water Quality Control Board, the applicant shall submit to the Public Works Department for review and approval an Erosion and Sediment Control Plan (ESCP). The ESCP shall contain appropriate site-specific construction site BMPs and developed and certified by a Qualified SWPPP Developer (QWD). All structural BMPs must be designed by a licensed California Engineer. The ESCP must address the following elements:

- Methods to minimize the footprint of the disturbed area and to prevent soil compaction outside the disturbed area.
- Methods used to protect native vegetation and trees.
- Sediment/Erosion Control.
- Controls to prevent tracking on and off the site.
- Non-storm water controls.
- Material management (delivery and storage).
- Spill Prevention and Control.
- Waste Management
- Identification of site Risk Level as identified per the requirements in Appendix 1 of the Construction General Permit.
- Landowner must sign the following statement on the ESCP:

"I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or



failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law.”

11. A State Construction activity permit is required for this project due to the disturbance of more than one acre of land for development. Provide a copy of the letter from the State Water Quality Control Board containing the WDID number prior to the issuance of grading or building permits.
12. A Storm Water Management Plan (SWMP) is required for this project. Storm drainage improvements are required to mitigate increased runoff generated by property development. The applicant shall have the choice of one method specified within the City's Local Implementation Plan Section 17.3.2.B.2. The SWMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The SWMP shall identify the Site design and Source control Best Management Practices (BMP's) that have been implemented in the design of the project (See LIP Chapter 17 Appendix A). The SWMP shall be reviewed and approved by the Public Works Department prior to the issuance of the grading/building permits for this project.
13. A Water Quality Mitigation Plan (WQMP) is required for this project. The WQMP shall be supported by a hydrology and hydraulic study that identifies all areas contributory to the property and an analysis of the predevelopment and post development drainage of the site. The WQMP shall meet all the requirements of the City's current Municipal Separate Stormwater Sewer System (MS4) permit. The following elements shall be included within the WQMP:
  - Site Design Best Management Practices (BMP's)
  - Source Control BMP's
  - Treatment Control BMP's that retains on-site the Stormwater Quality Design Volume (SWQDv). Or where it is technical infeasible to retain on-site, the project must biofiltrate 1.5 times the SWQDv that is not retained on-site.
  - Drainage Improvements
  - A plan for the maintenance and monitoring of the proposed treatment BMP's for the expected life of the structure.
  - A copy of the WQMP shall be filed against the property to provide constructive notice to future property owners of their obligation to maintain the water quality measures installed during construction prior to the issuance of grading or building permits.
  - The WQMP shall be submitted to Public Works and the fee applicable at time of submittal for the review of the WQMP shall be paid prior to the start of the technical review. The WQMP shall be approved prior to the Public Works Department's approval of the grading and drainage plan and or building plans. The Public Works Department will tentatively approve the plan and will keep a copy until the completion of the project. Once the project is completed, the applicant shall verify the installation of the BMP's, make any revisions to the WQMP, and resubmit to the Public Works Department for approval. The original signed and notarized document shall be



recorded with the County Recorder. A certified copy of the WQMP shall be submitted to the Public Works Department prior to the certificate of occupancy.

14. HYDROMODIFICATION – Alteration or disturbance of streams or natural drainage courses or human-made or altered drainage courses that have replaced natural streams or drainages and serve the same function, **shall be prohibited**.

- Necessary water supply projects where no feasible alternative exists.
- Flood protection for existing development where there is no other feasible alternative.
- The improvement of fish and wildlife habitat.

## MISCELLANEOUS

15. The developer's consulting engineer shall sign the final plans prior to the issuance of permits.

16. The discharge of swimming pool, spa and decorative fountain water and filter backwash, including water containing bacteria, detergents, wastes, alagecides or other chemicals is prohibited. Swimming pool, spa, and decorative fountain water may be used as landscape irrigation only if the following items are met:

- The discharge water is dechlorinated, debrominated or if the water is disinfected using ozonation;
- There are sufficient BMPs in place to prevent soil erosion; and
- The discharge does not reach into the MS4 or to the ASBS (including tributaries)

Discharges not meeting the above-mentioned methods must be trucked to a Publicly Owned Wastewater Treatment Works.

The applicant shall also provide a construction note on the plans that directs the contractor to install a new sign stating **"It is illegal to discharge pool, spa or water feature waters to a street, drainage course or storm drain per MMC 13.04.060(D)(5)."** The new sign shall be posted in the filtration and/or pumping equipment area for the property. Prior to the issuance of any permits, the applicant shall indicate the method of disinfection and the method of discharging.

Please include the marked-up set of plans with your next submittal. Also, please include a comment response letter with your next submittal that addresses the above-mentioned items. Failure to submit a detailed comment response letter will result in the Public Works Department not accepting your re-submittal and or may result in additional plan checking fees.



## Tyler Eaton

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**From:** Tyler Eaton  
**Sent:** Wednesday, July 6, 2022 11:50 PM  
**To:** Lisa Hilton  
**Subject:** RE: Coastal permit for 6734 Zumirez Drive

Hi Lisa,

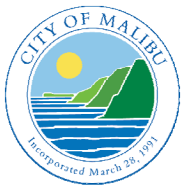
Thank you for your comment and sorry for the late response on this. I am looking into the view corridor issue and will get back to you soon.

Part of the review is assessing for impacts to protected views from Primary View Determinations of nearby residences. The proposed project is not anticipated to obstruct any of these privately protected views.

Zumirez Drive is not a scenic road as indicated in the City's Local Coastal Program, and as such, it has not traditionally been subject to the City's view corridor requirements. Never the less, I am ensuring that view corridor requirements do not apply to this project.

I will be in touch soon with a final determination but please feel free to reach out if you have any other questions.

Thank you,



**Tyler Eaton**  
**Associate Planner | City of Malibu**  
23825 Stuart Ranch Road, Malibu CA, 90265  
Office: 310-456-2489 Ext. 273  
Mobile: 424-422-8365  
[Malibucity.org/planning](http://Malibucity.org/planning)

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**From:** Lisa Hilton [REDACTED]  
**Sent:** Wednesday, June 29, 2022 8:22 PM  
**To:** Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)>  
**Subject:** Fwd: Coastal permit for 6734 Zumirez Drive

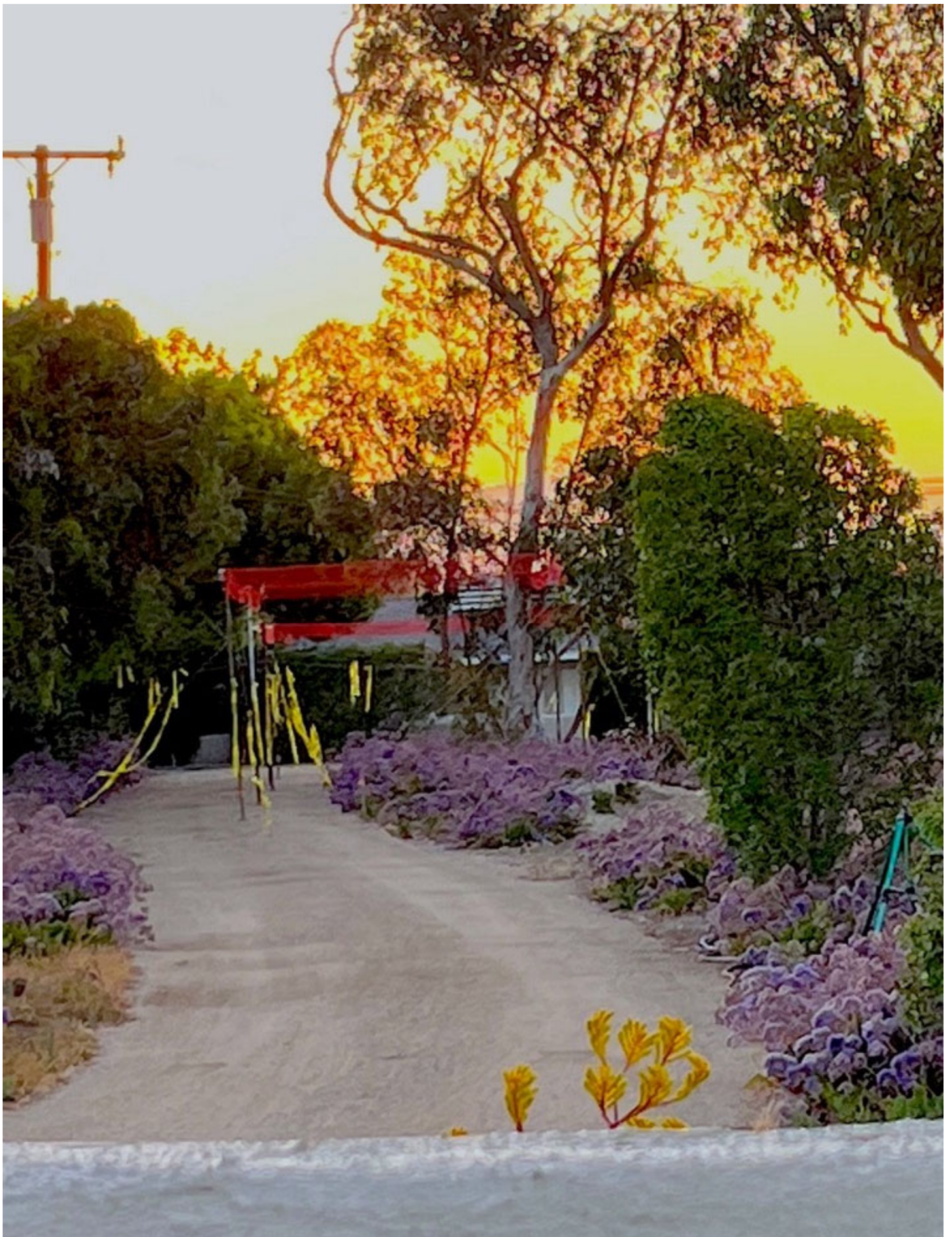
Hello Tyler Eaton/Malibu City Planning,

I have notified the owner of this property twice that their home and trees are obstructing on coastal views. Now that the story poles are up it is easy to see that the sunrise and ocean view will be 100% blocked. The homeowner could easily situate the home off on the left side and still have an amazing view and still keep a view corridor on the right side for others.

Although this view is from my property, it would also affect other homes near by. This is a popular walking street too, so anyone walking would also have the view blocked.

Thank you for considering this,

Sincerely,  
Lisa Hilton  
6725 Zumirez Drive



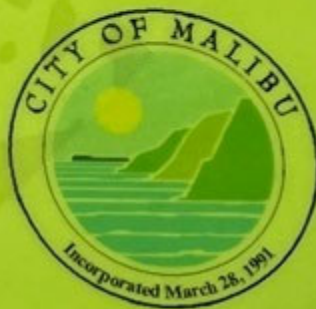
# NOTICE OF APPL COASTAL DEVELO

NOTICE IS HEREBY GIVEN that the City of Malibu ha

Coastal Development Permit No. 20-068 – An application for  
and construction of a new 6,284 square foot single-family  
detached garage, 471 square foot second unit, pool and sp  
associated development

PROJECT APPLICANT: Schmitz and Associates, Inc.  
PROJECT LOCATION: 6734 Zumirez Drive  
CASE PLANNER: Tyler Eaton

The application is available for review by contacting the Case  
Department at (310) 456-2489, extension 273, or by email at [teat](mailto:teat@malibucity.org)



**City of Malibu**  
23825 Stuart Ranch Road  
Malibu, CA 90265-4861  
Phone (310) 456-2489  
Fax (310) 456-3356  
[www.malibucity.org](http://www.malibucity.org)

## Tyler Eaton

---

**From:** Tyler Eaton  
**Sent:** Friday, July 8, 2022 10:35 AM  
**To:** Lisa Hilton  
**Subject:** RE: Coastal permit for 6734 Zumirez Drive

Hi Lisa,

Private properties with a Primary View Determination (PVD) registered with the City are usually more protected, especially against vegetation. We also try to protect public views to the maximum extent feasible. I did check for homes nearby with a PVD and none look to be affected by the proposed development. The project will be conditioned to maintain vegetation heights and much of the existing vegetation in the middle of the property is being removed or mitigated which could improve visual conditions.

You definitely have a say in the matter and I will share your correspondence with the Planning Commission, who makes the ultimate decision on the proposed development. You can also attend the Planning Commission meeting if you would like to speak. This item is scheduled for the August 1 meeting and will be held at 6:30pm.

I am still looking into the view corridor issue.

Tyler

---

**From:** Lisa Hilton [REDACTED]  
**Sent:** Thursday, July 7, 2022 11:42 AM  
**To:** Tyler Eaton <teaton@malibucity.org>  
**Subject:** Re: Coastal permit for 6734 Zumirez Drive

Thank you Tyler for your response.

So I understand that you are saying that only *some* properties have protected view rights, and our property and our neighbors don't have those rights on this project and we have no say if someone blocks a view with tall trees/home/garage or wall?

My understanding was that in Malibu you can't block another neighbors view completely, but that's more just a "good neighbor" concept? It does seem that a view corridor could be created and still allow for a fab home, landscaping and an exterior wall. It would be unfortunate to loose the sunrise Tyler.

Thank you for checking on this.

Sincerely,  
Lisa

On Jun 29, 2022, at 8:22 PM, Lisa Hilton [REDACTED] wrote:

Hello Tyler Eaton/Malibu City Planning,

I have notified the owner of this property twice that their home and trees are obstructing on coastal views. Now that the story poles are up it is easy to see that the sunrise and ocean view will be 100% blocked. The homeowner could easily situate the home off on the left side and still have an amazing view and still keep a view corridor on the right side for others.

Although this view is from my property, it would also affect other homes near by. This is a popular walking street too, so anyone walking would also have the view blocked.

Thank you for considering this,

Sincerely,  
Lisa Hilton



<Neighbor's story poles show view will be blocked as well as trees blocking our view  
9:21:22.jpeg><IMG\_7559.jpeg>

## Tyler Eaton

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**From:** eric zicklin [REDACTED]  
**Sent:** Wednesday, July 20, 2022 10:59 AM  
**To:** Tyler Eaton  
**Subject:** Re: 6734 Zumirez Dr. (4466-002-001)

Hi Tyler,

I just learned that the structure in our view will have a HOT TUB ON THE ROOF. This means that the top of the current story poles represent merely the FLOOR of the deck that will occupy that roof.

Is this within the city's rules vis a vis the view corridor? It certainly changes the exposure my house has to that structure when there's a hot tub on the roof.

I'm now more concerned than my earlier email indicated.

Thank you for your consideration, I hope to hear from you soon,  
Eric  
[REDACTED]

On Tue, Jul 19, 2022 at 4:40 PM eric zicklin [REDACTED] wrote:

Thank you for your response.

It's actually not the oversized height that's in our view, but rather the proposed single-story structure at the property's southeastern edge (nearest to Paradise Cove) that is now — with story poles and orange tape — highly visible inside our living room and out on our deck.

No vegetation obscures it and I fear that new vegetation will block more of our view.

An entire side of the proposed structure (the wall that would, if built, face Paradise Cove) is in our view and will be prominent if built as indicated by those poles and orange tape. It's unclear if there will be windows which look at our deck and vice versa, but that would also be objectionable to me.

I'll attach a photo here, please zoom to the right.... And then let me know what you think?

Thank you, I hope to hear from you soon,  
Eric Zicklin



On Tue, Jul 19, 2022 at 2:07 PM Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)> wrote:

Hi Eric,

Thanks for bringing this to our attention. I see you have a primary view determination on file with the City. While reviewing, I could not tell if the proposed additions at 6734 Zumirez will impact the PVD photos. It looked like existing vegetation might block the development from view.

We try to preserve your protected views to the maximum extent feasible. They are allowed to build up to 18 feet on their property but some of their development is proposed to be up to 24 feet tall. If the portions above 24 feet are impacting your view then I will try to work with the applicant to redesign those portions.

Are there any pictures you can send to me?

Thanks,



**Tyler Eaton**

**Associate Planner | [City of Malibu](https://malibucity.org)**

**[23825 Stuart Ranch Road, Malibu CA, 90265](#)**

**[Office: 310-456-2489](#) Ext. 273**

**Mobile: 424-422-8365**

**[//Malibucity.org/planning](https://malibucity.org/planning)**

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**From:** eric zicklin [REDACTED]  
**Sent:** Thursday, July 14, 2022 9:01 PM  
**To:** Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)>  
**Subject:** [6734 Zumirez](#) Dr. (4466-002-001)

Hello Tyler Eaton,

I received in the mail a notice of public hearing about the development of [6734 Zumirez Dr., Malibu](#).

Unfortunately, the view from my living room and its deck at [REDACTED] now include the story poles of 6734 Zumirez Dr, blocking a part of our view of the ocean and hillside.

Can you help me understand the rules or regulations about problems like this? I'm not eager to slow my neighbor's work, but I am eager to learn the rules.

I hope you can help me, or direct me to someone who can.

Thank you,

Eric Zicklin

[REDACTED]

Received

09/12/22

Planning Dept.

## Planning Commission

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**From:** Zicklin Family <[REDACTED]>  
**Sent:** Monday, September 12, 2022 1:53 PM  
**To:** Planning Commission  
**Subject:** Objection to 6734 Zumirez  
**Attachments:** 6734 Zumirez - Planning Commission.pdf

Hello Rebecca — I'm sending you an objection to the real estate development at 6734 Zumirez. Please share it with the planning commission. Thank you for all your time and attention, Eric Zicklin

CC: Planning Commission, PD,

Recording Secretary, File

Date Received 09/12/22 Time 1:53 PM  
Planning Commission meeting of 09/19/22  
Agenda Item No. 2A  
Total No. of Pages 6

We, the owners and full-time residents of [REDACTED] Zumirez Dr. Malibu CA, on September 12, 2022, would like to voice our objection to the proposed real estate development at 6734 Zumirez Dr.

We are filing this after some reluctance, as we built a house on this street from 2007-09 and therefore understand how difficult it is to create a home that follows the regulations and the norms of Malibu and its residents. We never wanted to present more challenges for the developers of 6734 Zumirez, but here are the specific reasons we feel compelled to speak up: privacy impact, light and noise pollution, misleading story poles, view impact, and bluff integrity that is threatened by the location of the proposed pool and guest house.

#### 1) PRIVACY IMPACT

Half of our living room will be in direct sight from the proposed guest house at 6734 Zumirez, impacting our privacy.

On the large flat parcel that is 6734 Zumirez Drive, we don't understand why the proposed guest house can't fit anywhere except in our view? No structure has ever existed at the proposed location in the twenty-three years we've lived at this address.



Everything in our living room to the left of the red line will be easily seen by occupants and guests of 6734 Zumirez Drive.

This intrusion is doubled by the developers' plans for their guest house roof...

## 2) MISLEADING STORY POLES

The guest house at 6734 Zumirez is designed to include a **hot tub on the roof.**

If built as designed, the residents of 6734 Zumirez will be free to gather on that roof, with guests, day and night whenever they like. As far as we know they'll be free to hang lights on that roof, rig a sound system, install umbrellas, a jumbo video screen, etc.

Therefore, the roof of the proposed guest house is in fact the floor of another living space, at a higher perch than the current story poles. How much higher? Who knows, because the scope of what will be installed on top of the proposed guest house — umbrellas, thatched roof, speaker stands, lighting poles, video

screens — is unknown and unacknowledged by story poles that end right where the 6734 Zumirez hot tub party begins.

Additionally, whatever landscaping or screening gets proposed for the guest-house-roof will further obstruct our views.

Here's a photo of the proposed guest house, taken from our living room. Now imagine a bright loud party ON TOP OF THE STORY POLES, because that's what we'll be facing.



### 3) LIGHT AND SOUND POLLUTION

The hot tub on the roof of the guest house of 6734 Zumirez will surely include lights both inside and around the tub, which will be seen by everyone from the Zumirez bluff to the Paradise Cove bluff. The lights and sounds will carry across the wide-open gulley in between (which is an ESHA) and impact the wildlife from frogs to birds.

### 4) VIEW IMPACT

Our ocean view will also be impacted:



## 5) BLUFF INTEGRITY

We're not soil experts, and we defer to those who are. Simultaneously, we're obliged to express our strong concern as people who've lived along this bluff since 1999: The proposed guest house and the proposed swimming pool structure at 6734 Zumirez appear to be much closer to the bluff's edge than any other structure in that area. We want to know that setbacks from the ESHA, the bluff, and the slope are being respected. Stability of that area does not look strong, and the swimming pool structure on the bluff's rim looks huge and, when filled with water, quite heavy. Can the hillside hold it all? Like most of the community, we care about the fragile ESHA that is so close to our home and we hope to see it remain intact even as nearby real estate is responsibly developed.

## CONCLUSION:

We respectfully ask that the guest house of 6734 Zumirez Drive be relocated to where it's not in the view of 6716 Zumirez, and that the entire project move safely away from the bluff and ESHA on the property's southeastern edge.

The 6734 parcel is large and flat; pushing so much of the development onto one edge of the property where it encroaches on an ESHA and blocks other people's views doesn't seem like a wise or neighborly plan.

Thank you for your attention to this matter, and for your service to Malibu,

Dottie and Eric Zicklin  
Owners and Full-Time Residents of [REDACTED] Zumirez Dr.

## Tyler Eaton

---

**From:** Ryan Levis [REDACTED]  
**Sent:** Wednesday, July 20, 2022 9:03 AM  
**To:** Tyler Eaton; Kraig Hill; John Mazza; Dennis Smith; Jeffrey D Jennings; Mark Wetton  
**Cc:** Scott Halley; Howard M. Bernstein  
**Subject:** From Ryan Levis Architect Re CDP 20-068 - 6734 Zumirez Dr.

Dear Tyler Eaton & City of Malibu Planning Commission Members,

We hope you are all well and thank you in advance for your attention to this email.

We represent the owner of 6728 Zumirez Dr.

We are in receipt of the Notice of Public Hearing (photo attached) for the subject CDP application and are witness to the story poles that are erected on the subject site, the neighbor to the south, at 6734 Zumirez Dr. (photos attached).

As you can see by the photos, the proposed new construction at 6734 Zumirez Dr., as represented by the story poles, blocks the significant and scenic bluewater views from the main living area presently enjoyed by the homeowner at 6728 Zumirez Dr.

It would appear that not only are the maximum 18' high sections of the building in violation but so are the higher sections.

We are kindly requesting your presence at the 6728 Zumirez Dr. property to review this condition.

Please let me know if there is any mutually convenient time (or times) to coordinate this so we may notify the owner and possibly meet you there as well.

We look forward to hearing from you.

Thank you and best regards,

Ryan

Ryan Levis AIA  
Ryan Levis Architect Inc.  
Architecture, Planning, Interiors, Project Management  
[REDACTED]

This email is intended for the sole use of the individual(s) and entity(s) to whom it is addressed, and may contain information that is privileged and confidential. Use, disclosure, distribution or duplication of the contents of this email by any person who is not the intended recipient is strictly prohibited. If your receipt of this email is in error, please notify us immediately, disregard the contents and delete any attachments you may have downloaded. Thank you.

----- Forwarded message -----

**From:** Ryan Levis [REDACTED]  
**Date:** Tue, Jul 19, 2022 at 10:21 AM  
**Subject:** Re CDP 20-068 - 6734 Zumirez Dr.  
**To:** Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)>  
**Cc:** Scott Halley [REDACTED]

Good morning Tyler,

I represent the owners at [REDACTED].

I went to the City yesterday and filed a public records request to see the plans associated with the subject CDP application. I was told the records could take as much as two weeks to retrieve. This is too long because according to the notice, the project will be heard at the Monday August 1st Planning Commission hearing. As a first request, would you be able to pull the records and meet with me sometime soon to review them?

Regardless, as you can see by the attached pictures, my client's scenic blue water views from their main living area are affected by the proposed construction as noted by the story poles.

In addition to meeting regarding the drawings, could we please meet at the site of my client at [REDACTED] to see this in person?

I appreciate your time and attention to this matter and look forward to hearing from you very soon.

Thank you,

Ryan

## NOTICE OF PUBLIC HEARING

The Malibu Planning Commission will hold a public hearing on **Monday, August 1, 2022, at 6:30 p.m.** for the project identified below which will be held via teleconference only in order to reduce the risk of spreading COVID-19 pursuant to AB 361 and the County of Los Angeles Public Health Officer's Safer at Home Order.

**COASTAL DEVELOPMENT PERMIT NO. 20-068, SITE PLAN REVIEW NO. 21-009, AND DEMOLITION PERMIT NO. 20-028** - An application for the demolition of the existing single-family residence and construction of a new 6,284 square foot single-family residence, basement, 510 square foot attached and 462 square foot detached garage, 471 square foot second unit, pool and spa, cabana, onsite wastewater treatment system and associated development

**LOCATION / APN / ZONING:** 6734 Zumirez Dr / 4466-002-001 / Rural Residential-One Acre (RR-1)  
**APPLICANT / OWNER(S):** Schmitz and Associates, Inc. / IBN Properties, LLC  
**APPEALABLE TO:** City Council and California Coastal Commission  
**ENVIRONMENTAL REVIEW:** Categorical Exemption CEQA Guidelines Sections 15303(a) and 15303(e)  
**APPLICATION FILED:** December 29, 2020  
**CASE PLANNER:** Tyler Eaton, Associate Planner, teaton@malibucity.org  
(310) 456-2489, ext. 273

A written staff report will be available at or before the hearing for the project, typically 10 days before the hearing in the Agenda Center: <http://www.malibucity.org/agendacenter>. Related documents are available for review at City Hall or by contacting the Case Planner. You will have an opportunity to testify at the public hearing; written comments which shall be considered public record, may be submitted any time prior to the beginning of the public hearing. If the City's action is challenged in court, testimony may be limited to issues raised before or at the public hearing. To view or sign up to speak during the meeting, visit [www.malibucity.org/virtualmeeting](http://www.malibucity.org/virtualmeeting).

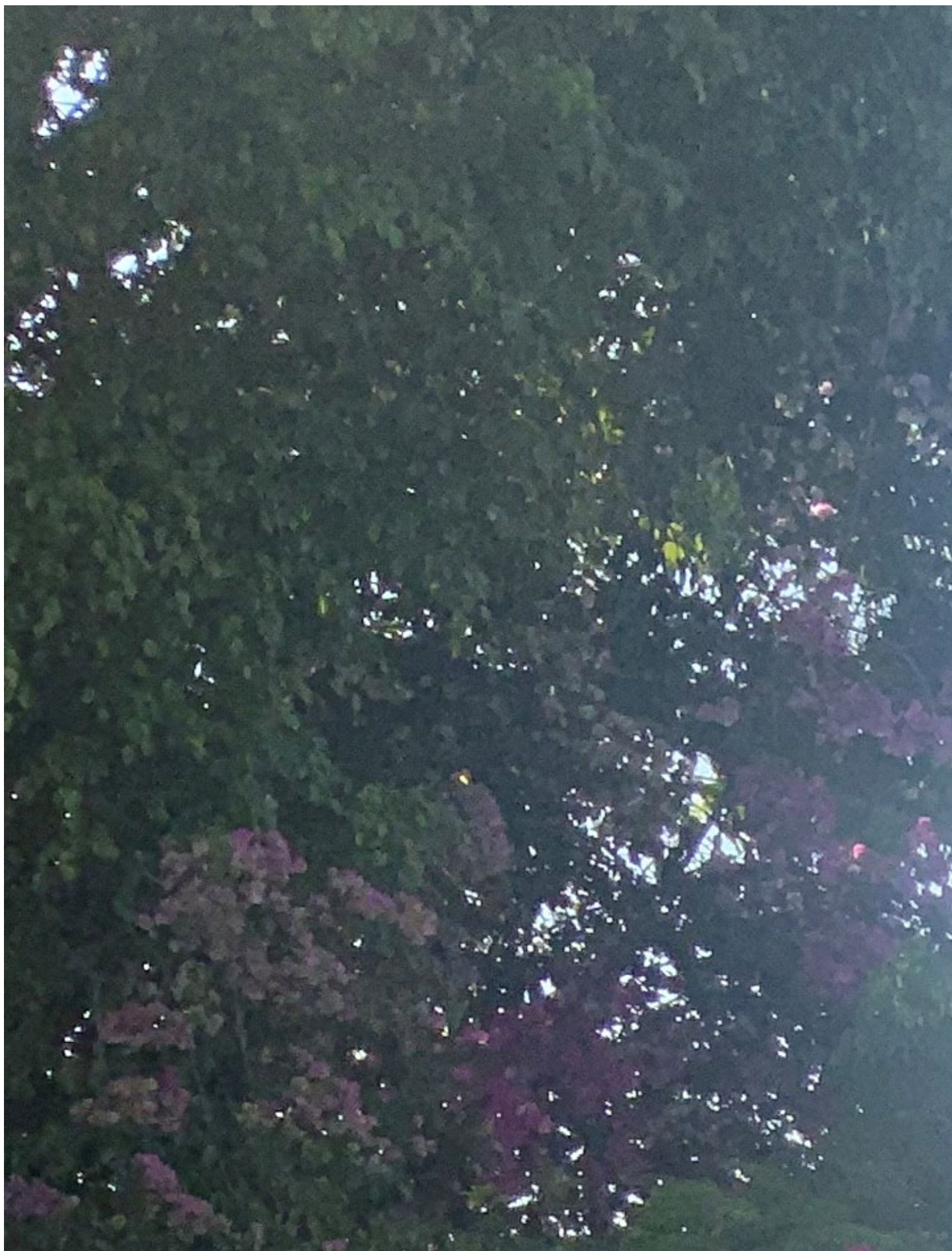
**LOCAL APPEAL** - A decision of the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be filed with the City Clerk within ten days following the date of action which the appeal is made and shall be accompanied by an appeal form and filing fee, as specified by the City Council. Appeal forms may be found online at [www.malibucity.org/planningforms](http://www.malibucity.org/planningforms) or in person at City Hall, or by calling (310) 456-2489, extension 245.

**COASTAL COMMISSION APPEAL** - An aggrieved person may appeal the Planning Commission's approval directly to the Coastal Commission within 10 working days of the issuance of the City's Notice of Final Action. More information may be found online at [www.coastal.ca.gov](http://www.coastal.ca.gov) or by calling 805-585-1800.

RICHARD MOLICA, Planning Director


Date: July 7, 2022





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Ryan Levis AIA  
Ryan Levis Architect Inc.  
Architecture, Planning, Interiors, Project Management



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Date: January 31, 2023 (revision 1)

**VIA EMAIL**

Attn: City of Malibu  
Planning Department  
Richard Mollica, Planning Director  
Tyler Eaton, Case Planner

From: Howard Bernstein Bypass Trust Residence  
[REDACTED]

Re: CDP 20-068  
6734 Zumirez Dr.  
Malibu, CA  
90265

Dear Richard, Tyler, and whom it may concern,

We submit this letter on behalf of our aggrieved clients, the 50+ year owners of 6728 Zumirez Dr. who's '*visually impressive view of the Pacific Ocean*'\* from their primary living area will be severely impacted by the proposed new residence next door to the south as evidenced by the installed story poles of Coastal Development Permit application 20-068.

Please see attached exhibits A,B,C,&D. Please note, the position of the photo in the exhibits is the same as that of a Primary View Determination PVD 23-001 that was recently recorded.

While we recognize the Malibu Municipal Code section 17.40.040 (17), the proposed new residence massing blocks almost 50% of our clients current visually impressive view of the Pacific Ocean.

We find this amount of blockage to be an egregious violation of our clients long standing view of the Pacific Ocean and request the current proposed building massing and siting of CDP 20-068 be seriously considered by the Planning Department to be rejected, in its current form, as not suitable to go before the Planning Commission on this basis.

At approximately 450+/- feet from Zumirez Dr. to the bluff side end of the proposed development, the 6734 Zumirez property is a very long lot and it would not be a hardship to ask the applicant to shift their proposed development back 25 or 35 feet. Please see attached exhibits E,F,G,H,I,&J reflecting the current Neighborhood Standard condition of bluff side building projections, the proposed development, as well as diagrams of proposed 25 and 35 foot shifts.

RYAN LEVIS ARCHITECT, INC. [REDACTED]

\* Architecture, Planning, Interiors, Project Management \*

Further, said analysis of Neighborhood Standards for the current seaward/eastward projection of the existing homes north and south of the proposed project along the coastal bluff show that the proposed new development is extending well beyond this historical line.

We are of the opinion the proposed new development should respect this current Neighborhood Standard.  
Please see attached exhibits E & F.

We feel it can be demonstrated that the proposed project of CDP 20-068 can be set back enough from its proposed location so as to not severely impact our clients visually impressive view of the Pacific Ocean while at the same time not materially affecting their own enjoyment of the same visually impressive Ocean view.

We thank you kindly for your time and consideration.

Please do not hesitate to contact me regarding this matter.

Thank you,

A handwritten signature in black ink, appearing to read "Ryan Levis". The signature is stylized with a large, looped "R" and a cursive "Levis".

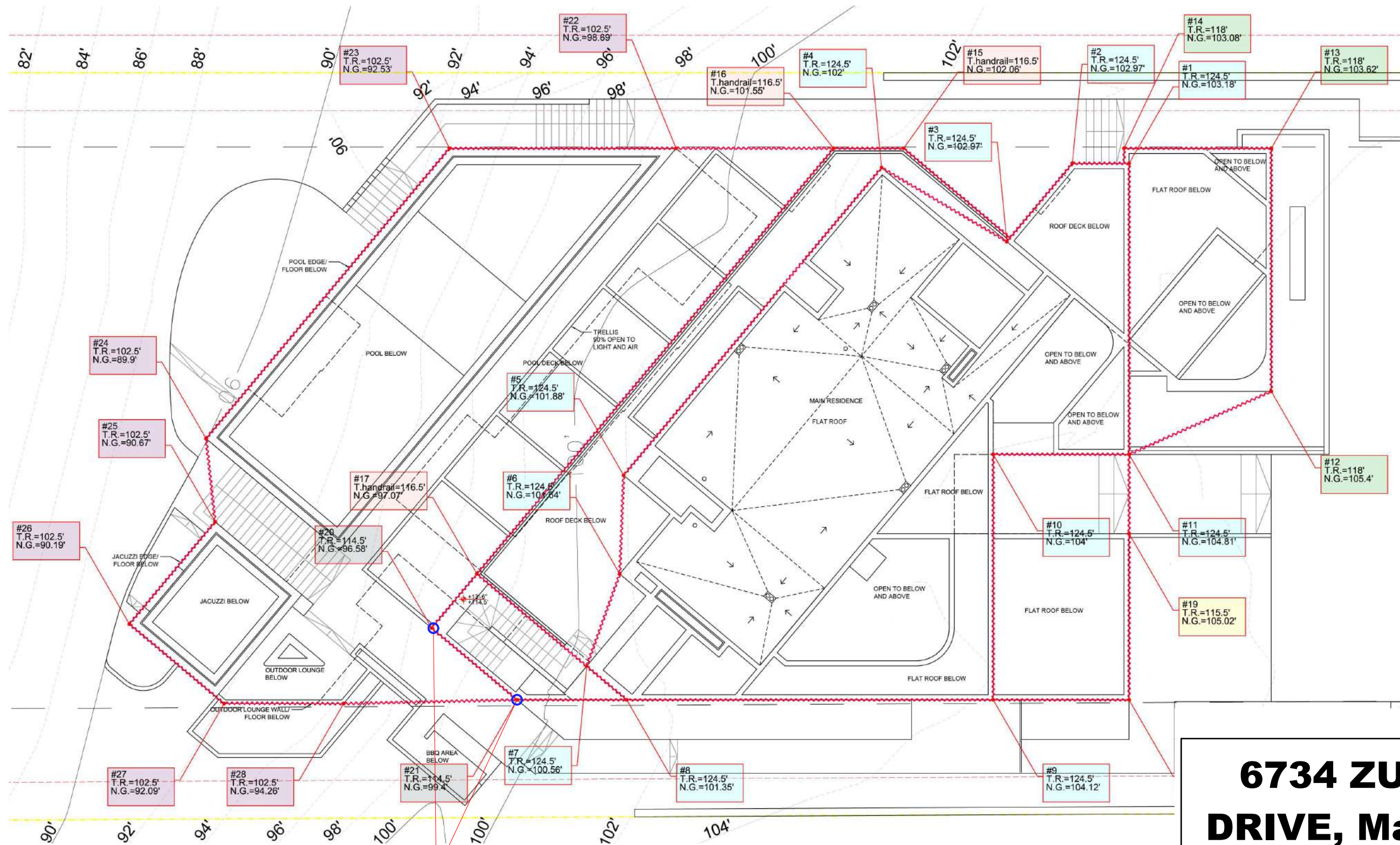
---

**Ryan James Levis A.I.A.**

**Principal RYAN LEVIS ARCHITECT INC.**

California Architect's Board license # C34330

\* In quotes and italicized as this wording is directly from the Malibu Municipal Code section 17.40.040 (17)



# 6734 ZUMIREZ DRIVE, Malibu, CA

APN: 4466-002-001

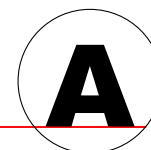
Ryan Levis  
Architect

Ph. (808) 268-8475  
E: ryan@ryanlevisarch.com

© 2023 Ryan Levis Architect, Inc.

R  
L  
A

EXHIBIT  
STORY POLE PLAN



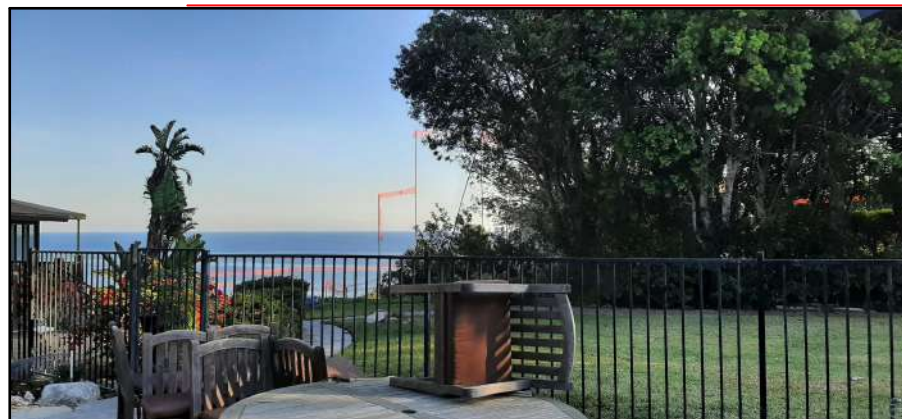
STORY POLE #20 AND #21  
APPEAR TO BE MISSING



EXHIBIT

**B**

3D DIAGRAM STORY POLE OVERLAY



EXISTING CONDITION STORY POLES

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

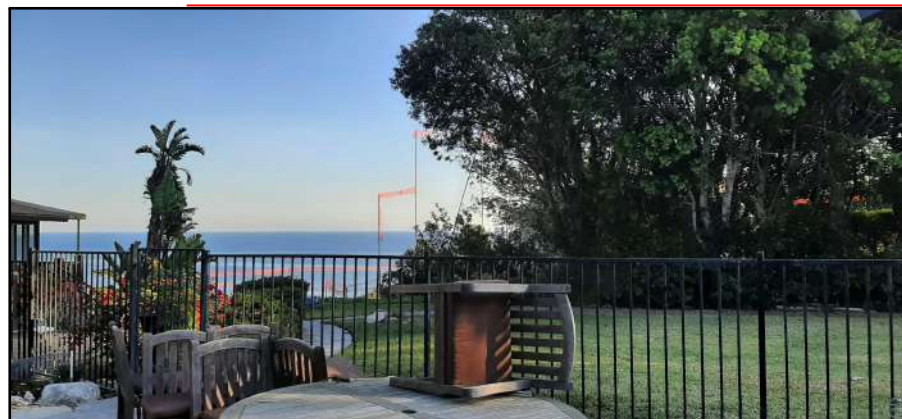
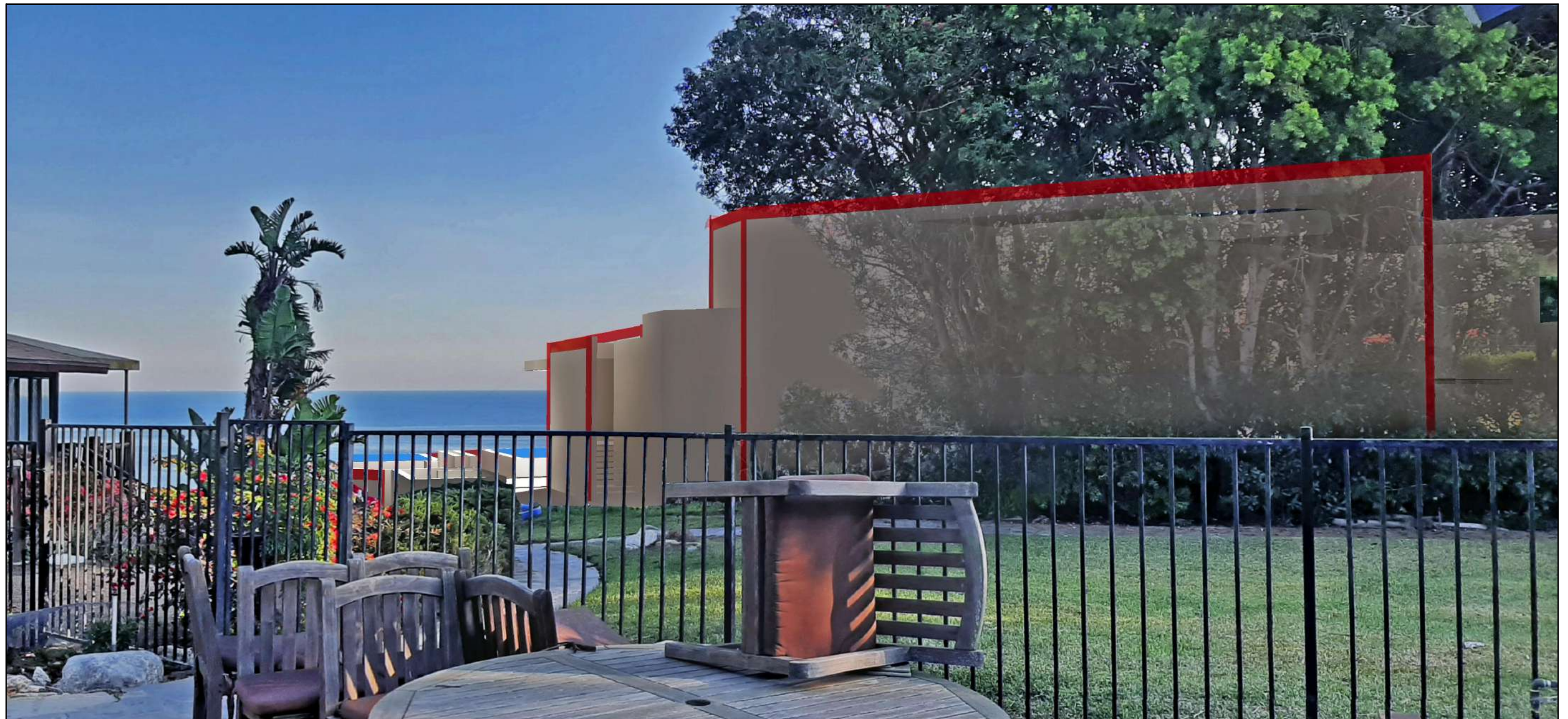
APN: 4466-002-001

Ryan Levis  
Architect

Ph. (808) 268-8475  
E: ryan@ryanlevisarch.com

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EXISTING CONDITION STORY POLES

EXHIBIT **C**  
STORY POLE MASSING OVERLAY

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

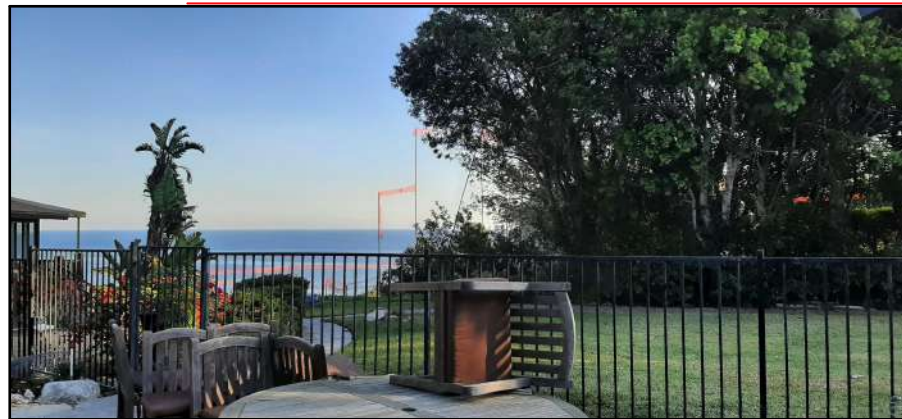
APN: 4466-002-001

Ryan Levis  
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E: ryan@ryanlevisarch.com

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EXISTING CONDITION STORY POLES

EXHIBIT **D**  
3D MASSING STUDY

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

APN: 4466-002-001

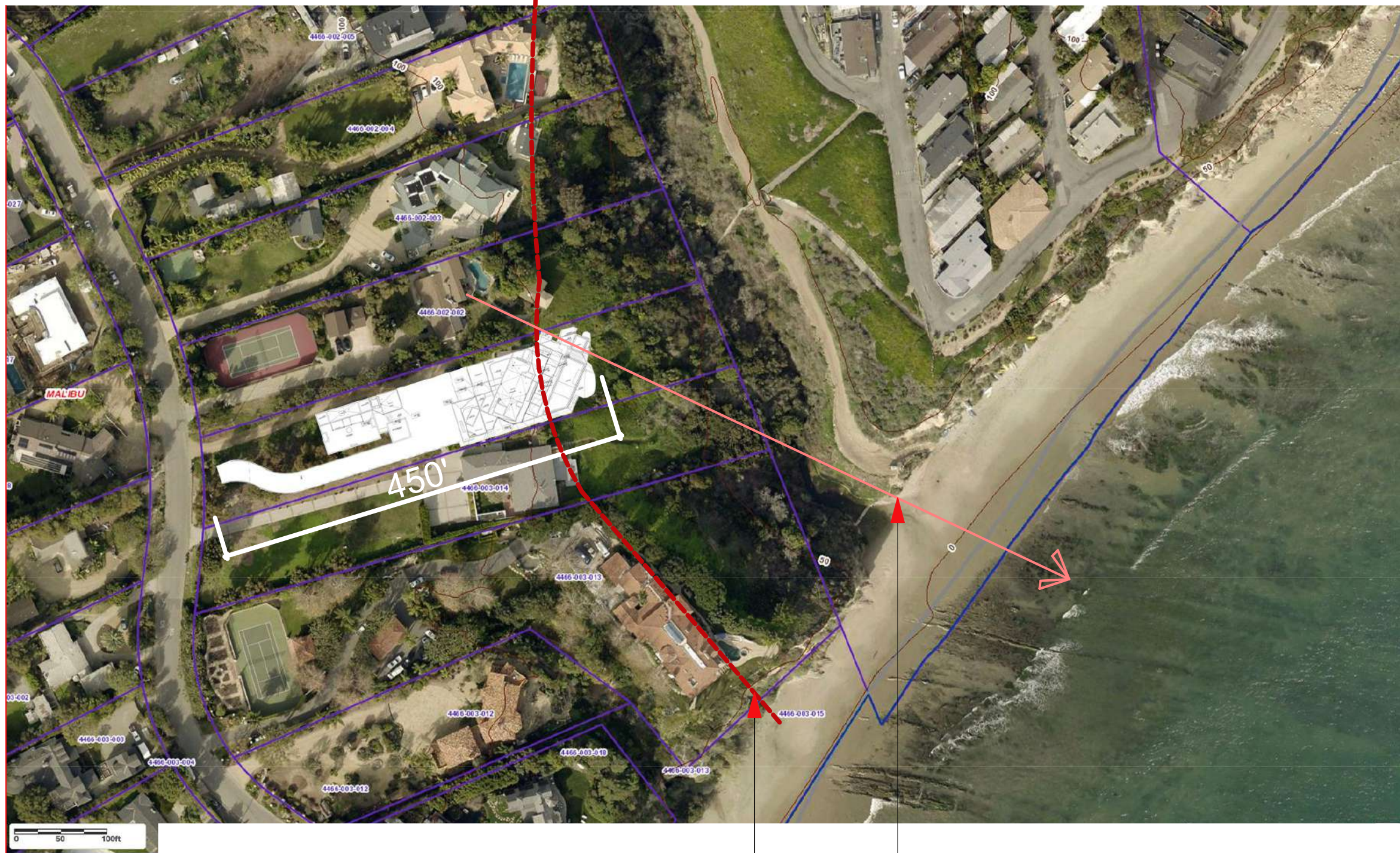
Ryan Levis  
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R  
L  
A





NEIGHBORHOOD STANDARD SETBACK

PRIMARY VIEW DIRECTION

EXHIBIT

F

NEIGHBORHOOD STANDARDS EXISTING CONDITION  
WITH PROPOSED DEVELOPMENT OVERLAY

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

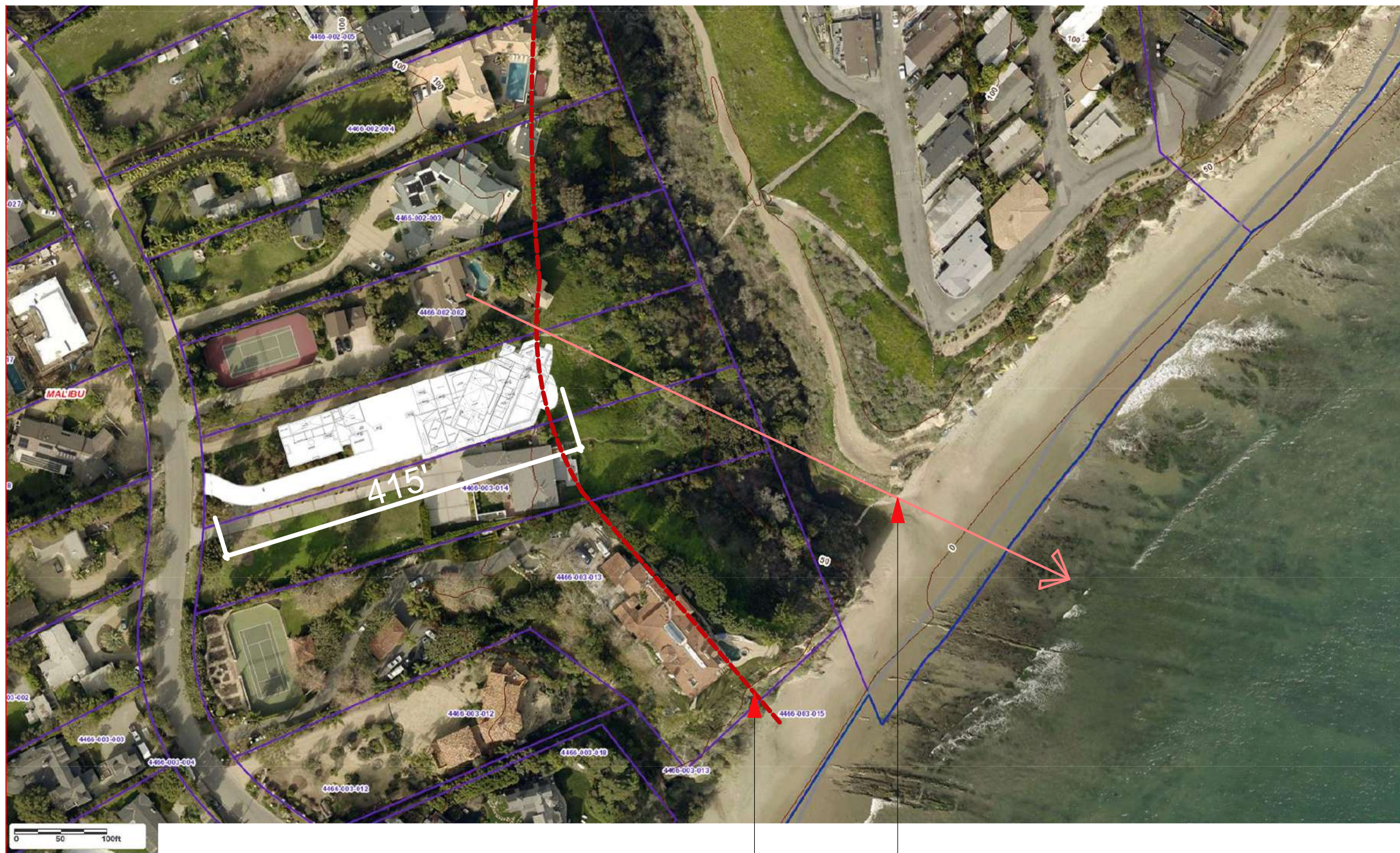
APN: 4466-002-001

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E: ryan@ryanlevisarch.com

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L  
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NEIGHBORHOOD STANDARD SETBACK

PRIMARY VIEW DIRECTION

NEIGHBORHOOD STANDARDS EXISTING CONDITION  
WITH PROPOSED DEVELOPMENT AT 35' SETBACK  
FROM PROPOSED DEVELOPMENT OVERLAY

EXHIBIT

G

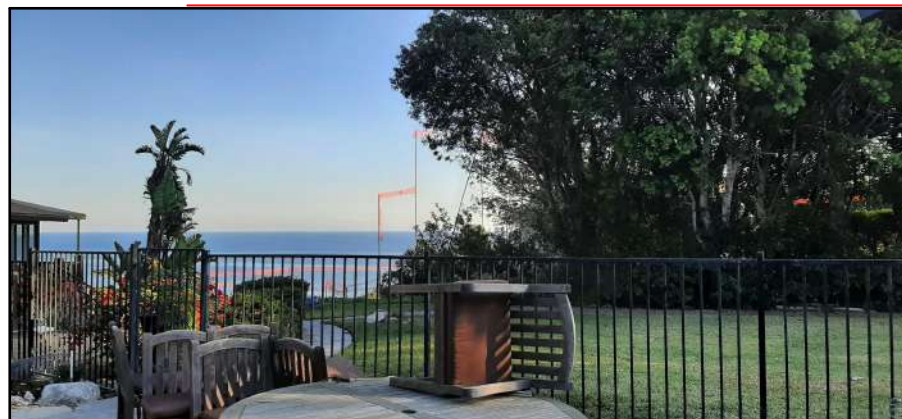
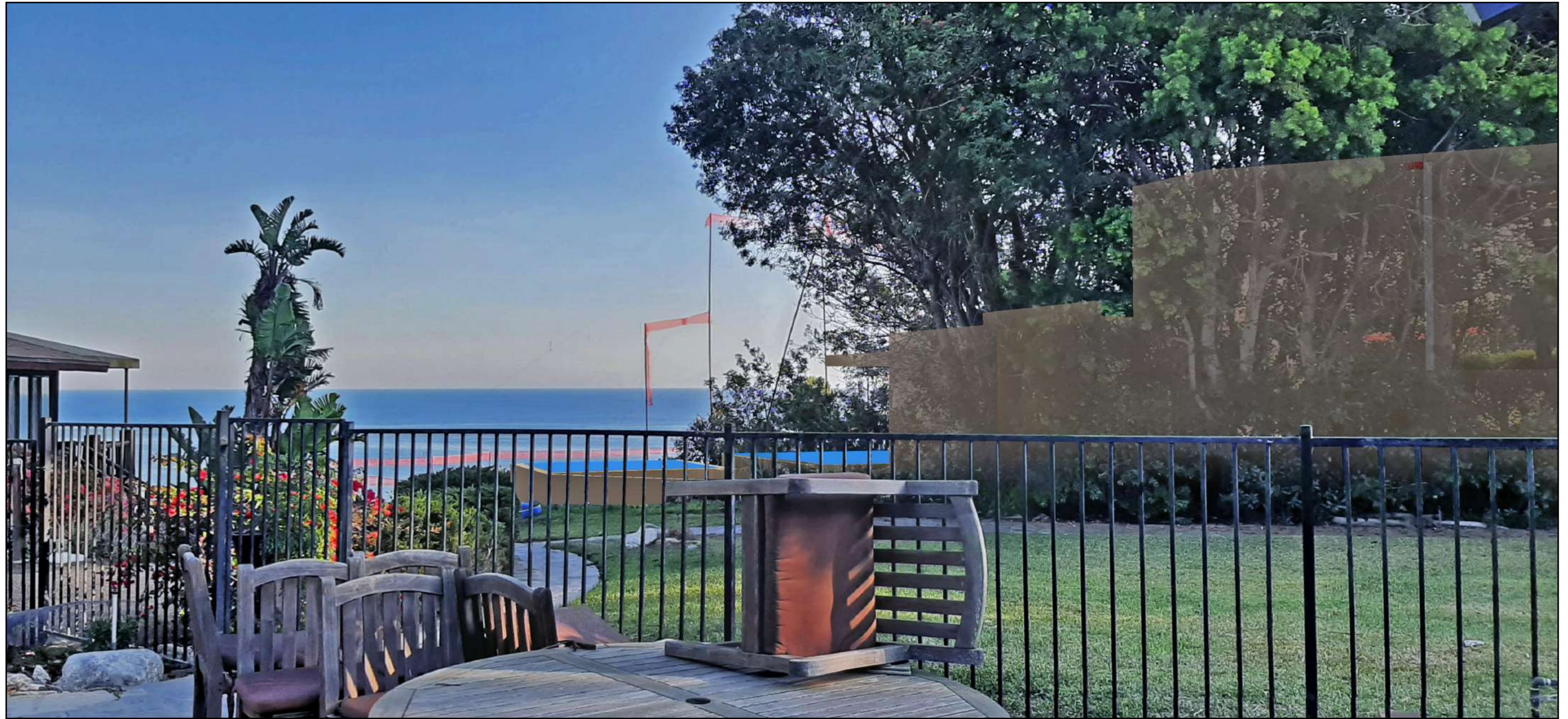
**6734 ZUMIREZ  
DRIVE, Malibu, CA**

APN: 4466-002-001

Ryan Levis  
Architect

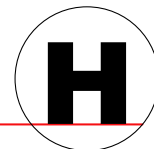
Ph. (808) 268-8475  
E: ryan@ryanlevisarch.com  
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R  
L  
A



EXISTING CONDITION STORY POLES

EXHIBIT



3D MASSING STUDY  
35 FEET SHIFT

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

APN: 4466-002-001

Ryan Levis  
Architect

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E: ryan@ryanlevisarch.com

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R  
L  
A



NEIGHBORHOOD STANDARD SETBACK

PRIMARY VIEW DIRECTION

EXHIBIT

NEIGHBORHOOD STANDARDS EXISTING CONDITION  
WITH PROPOSED DEVELOPMENT AT 25' SETBACK  
FROM PROPOSED DEVELOPMENT OVERLAY

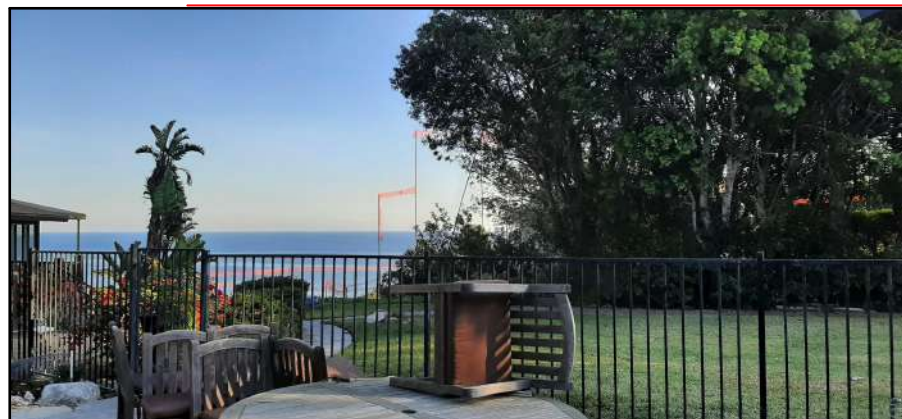
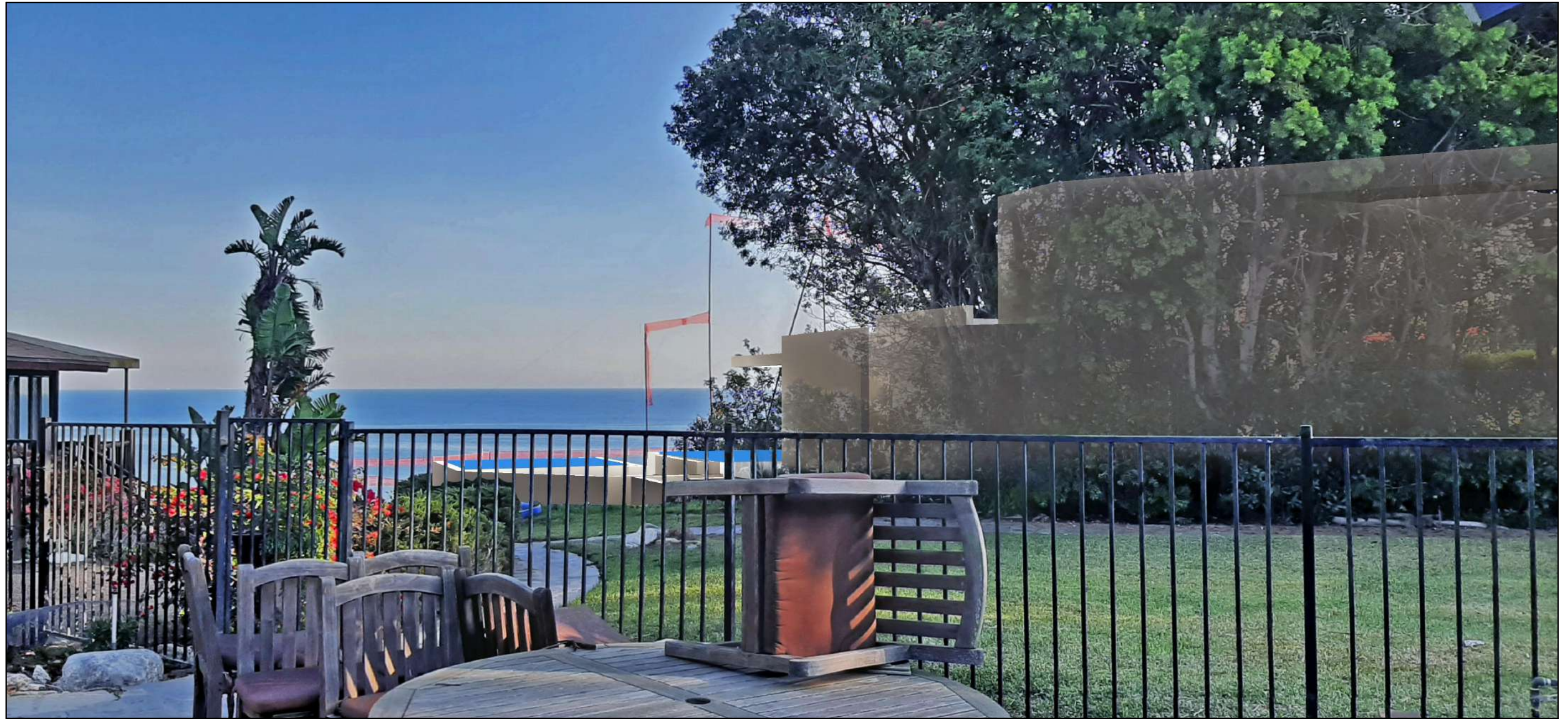
**6734 ZUMIREZ  
DRIVE, Malibu, CA**

APN: 4466-002-001

Ryan Levis  
Architect

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E: ryan@ryanlevisarch.com  
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R  
L  
A



EXISTING CONDITION STORY POLES

EXHIBIT

**J**

3D MASSING STUDY  
25 FEET SHIFT

**6734 ZUMIREZ  
DRIVE, Malibu, CA**

APN: 4466-002-001

Ryan Levis  
Architect

Ph. (808) 268-8475  
E: ryan@ryanlevisarch.com

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**R  
L  
A**

## Tyler Eaton

---

**From:** jaime harnish [REDACTED]  
**Sent:** Thursday, February 16, 2023 6:11 PM  
**To:** Tyler Eaton; Eric Zicklin; Janet Friesen; scott halley  
**Subject:** Fwd: Zumirez

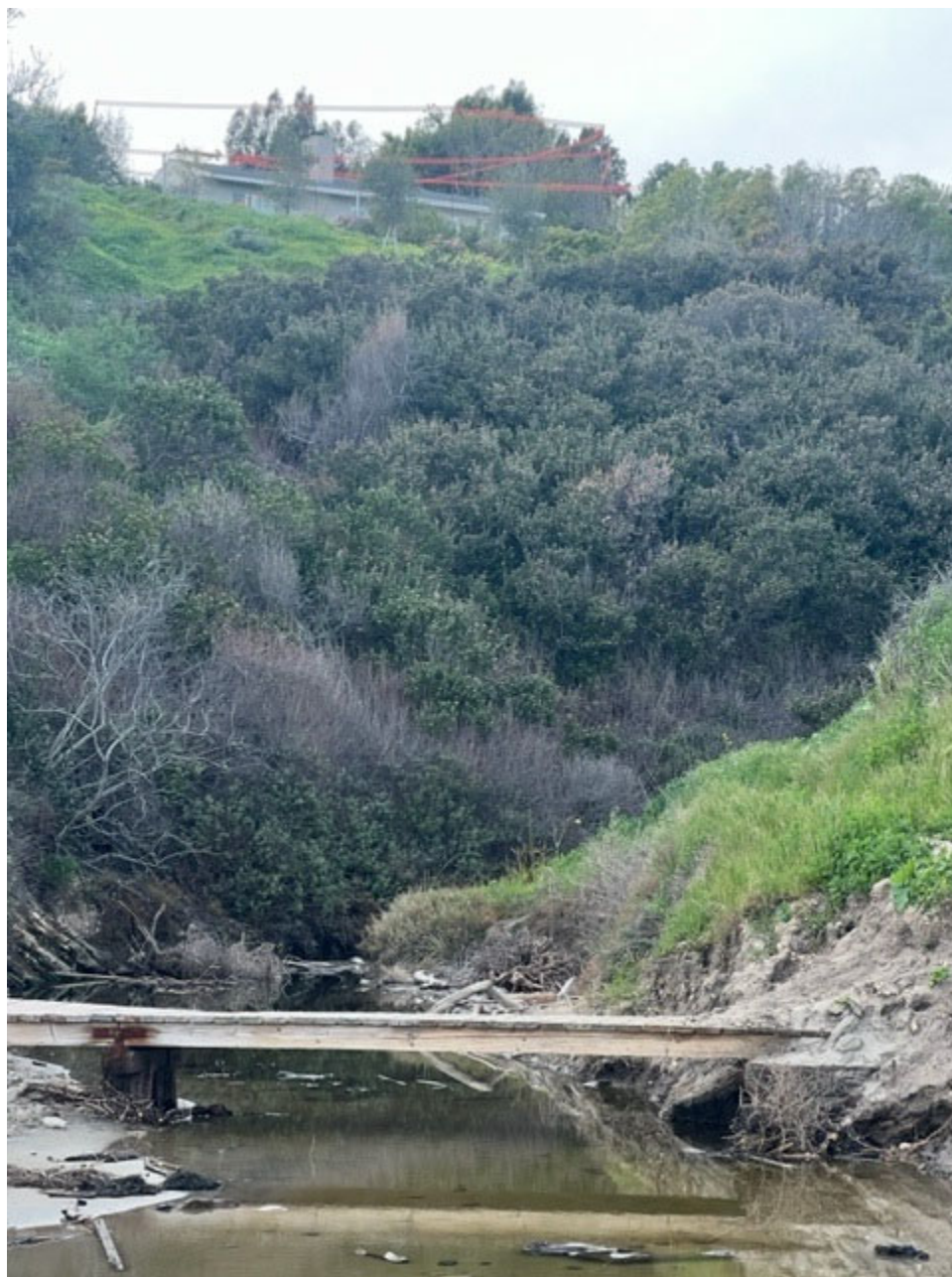
Sent from my iPhone

Begin forwarded message:

**From:** jaime harnish [REDACTED]  
**Date:** February 16, 2023 at 6:08:28 PM PST  
**Subject:** Zumirez

Please see the proposed house from the public beach.

Please see the perennial stream wit riparian habitat.



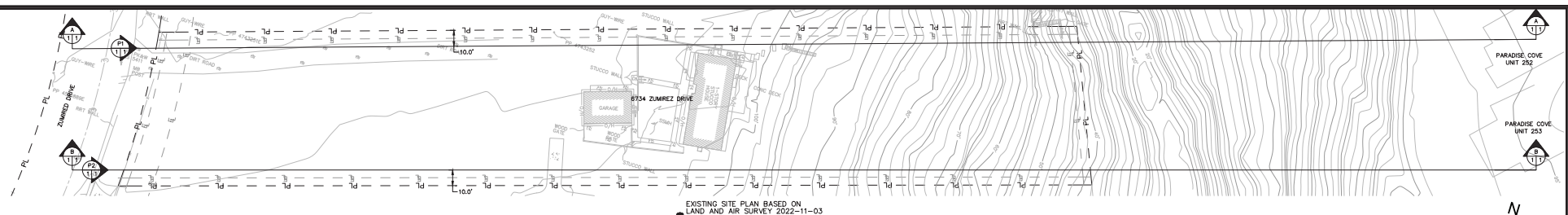




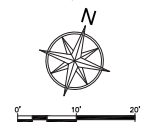




Sent from my iPhone



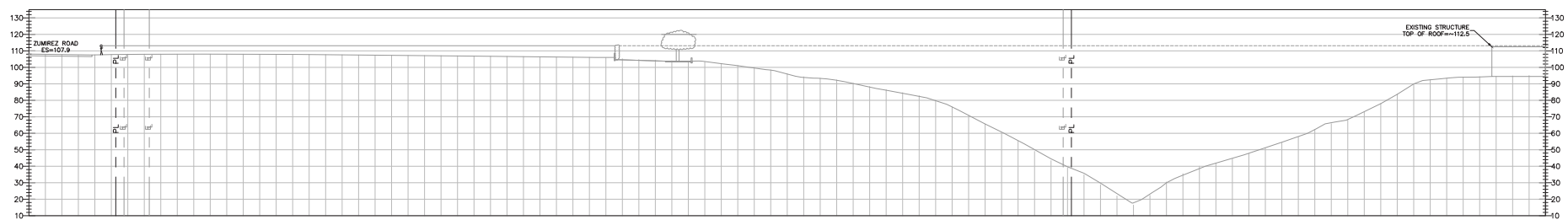
EXISTING SITE PLAN BASED ON  
LAND AND AIR SURVEY 2022-11-03



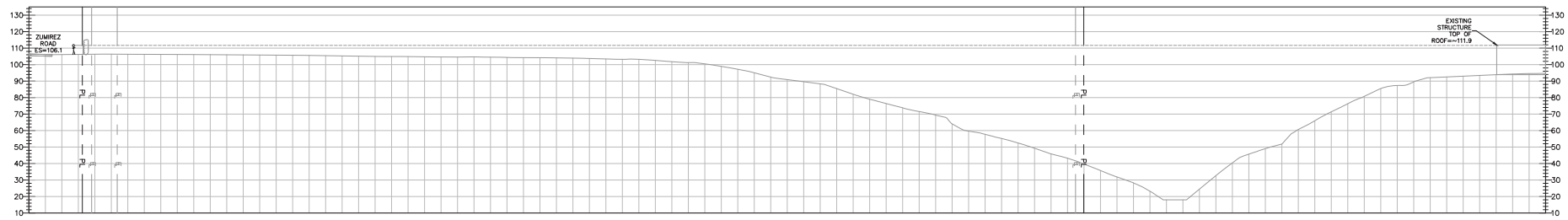
REVISIONS:		
REV	BY	DATE

**AHSIRT**  
ENGINEERING, INC.

360 MILLER WAY  
ARROYO GRANDE CA 93420  
PHI 805-474-4008



**CROSS SECTION A**  
(SCALE: 1" = 30')



**CROSS SECTION B**  
(SCALE: 1" = 30')



PICTURE P1



PICTURE P2

ABBREVIATION	DESCRIPTION
ES	EXISTING SURFACE ELEVATION

LINETYPE	DESCRIPTION
— — — PL	PROPERTY LINE
————	EXISTING MAJOR CONTOURS
————	EXISTING MINOR CONTOURS

SURVEY PREPARED BY:  
LAND AND AIR SURVEYING  
22741 PACIFIC COAST HIGHWAY  
SUITE #400A  
MALIBU, CA 900265  
(310) 456-9381

DATE PREPARED: 11/05/18  
UPDATE(S): 09/16/2020, 11/03/22

GENERAL NOTES:

HEIGHT OF PARADISE COVE UNIT 252 AND 253 APPROXIMATED USING THE ELEVATIONS FROM GOOGLE EARTH PRO BY COMPARING THE ELEVATION OF THE HIGHEST POINT OF THE ROOFLINE AND THE EXISTING GRADE BESIDE THE HOUSE. BASED ON THIS ANALYSIS, BOTH UNITS ARE APPROXIMATELY 18' TALL.

PICTURES P1 AND P2 WERE TAKEN ON NOVEMBER 10, 2022.



JOB #:  
105.16

DATE:  
NOVEMBER 2022

DRAWN BY:  
TJM

CHECKED BY:  
TAC

SHEET NUMBER:  
1 OF 1

1 OF 1



# City of Malibu

23825 Stuart Ranch Rd, Malibu, California 90265-4861  
(310) 456-2489 FAX (310) 456-7650 [www.malibucity.org](http://www.malibucity.org)

## PLANNING DEPARTMENT PRIMARY VIEW DETERMINATION

---

Primary View Determination: 6716 Zumirez Drive – Eric and Dorothy Zicklin

On January 22, 2013, staff conducted a primary view determination at 6716 Zumirez Drive . Staff documented the primary view standing on an outdoor deck, located within ten feet of the exterior wall of the living room, a location chosen by the property owner. The location of the primary view determination photographs were taken from is denoted by a red star in the aerial below.



On January 22, 2013, the view from this location on the property is as follows, from north to south:









# City of Malibu

23825 Stuart Ranch Rd. · Malibu, California · 90265-4816  
Phone (310) 456-2489 · Fax (310) 456-7650 · [www.malibucity.org](http://www.malibucity.org)

## PLANNING DEPARTMENT

### **PRIMARY VIEW DETERMINATION**

Primary View Determination: 6728 Zumirez Drive – Penn Family Trust

On December 14, 2022, staff conducted a primary view determination at 6728 Zumirez Drive. Pursuant to Malibu Municipal Code Section 17.45.050, staff captured the primary view on the patio abutting the living room of the single-family residence, facing southeast, a location chosen by the property owner. The property and recorded view is denoted in the neighborhood map (Exhibit1) below.



Exhibit 1: Neighborhood map showing 6728 Zumirez Drive and recorded view. (Source: City of Malibu GIS, 2023)

A total of five photographs were captured in sequence from the northeast to the southwest. The nature of the view determination consisted of blue water views of the Pacific Ocean and concern over proposed development at 6734 Zumirez Drive that may block those views. The specific location of the view determination was on the patio abutting the living room, a primary living area. The photos were taken ten feet in front of the living room patio doors at an elevation of five feet. A detailed key map showing the specific location where the view was observed, the 180 degree view axis, and corresponding views are denoted in Exhibit 2 below.



Exhibit 2: Detailed Key Map of the Primary View Determination; 6728 Zumirez Drive (Source: City of Malibu GIS, 2023)

The five photos that combine to reflect the property's primary view, are provided below.



View 1 –Looking Northeast.



View 2 – Looking East.



View 3 – Looking Southeast.



View 4 – Looking South.



View 5 – Looking Southwest.



View 6 – Photos taken ten feet from the patio doors of the main viewing area (living room).



View 7 – Photos taken five feet from the patio floor.



City Of Malibu  
23825 Stuart Ranch Road  
Malibu, CA 90265  
Phone (310) 456-2489  
[www.malibucity.org](http://www.malibucity.org)

**PLANNING DEPARTMENT**  
**NOTICE OF PUBLIC HEARING**



**NOTICE OF PUBLIC HEARING**

The Malibu Planning Commission will hold public hearings on **TUESDAY, February 21, 2023, at 6:30 p.m.** on the projects identified below. This meeting will be held via teleconference only in order to reduce the risk of spreading COVID-19 and pursuant to AB 361 and the County of Los Angeles Public Health Officer's Safer at Home Order. All votes taken during this teleconference meeting will be by roll call vote, and the vote will be publicly reported.

**COASTAL DEVELOPMENT PERMIT NO. 20-068, SITE PLAN REVIEW NO. 21-009, AND DEMOLITION PERMIT NO. 20-028** - An application for the demolition of the existing single-family residence, construction of a new 6,284 square foot single-family residence, basement, 510 square foot attached and 462 square foot detached garage, 471 square foot second unit, pool and spa, cabana, onsite wastewater treatment system and associated development, and a site plan review for construction up to 24 feet in height to allow for a flat roof

**LOCATION / APN / ZONING:** 6734 Zumirez Dr / 4466-002-001 / Rural Residential-One Acre (RR-1)  
**APPLICANT / OWNER(S):** Schmitz and Associates, Inc. / IBN Properties, LLC  
**APPEALABLE TO:** City Council and California Coastal Commission  
**ENVIRONMENTAL REVIEW:** Categorical Exemption CEQA Guidelines Sections 15303(a) and 15303(e)  
**APPLICATION FILED:** December 29, 2020  
**CASE PLANNER:** Tyler Eaton, Senior Planner, [teaton@malibucity.org](mailto:teaton@malibucity.org)  
(310) 456-2489, ext. 273

For the project identified above with a categorical exemption for environmental review, pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Planning Director has analyzed this proposed project and found that this is listed among the classes of projects that have been determined not to have a significant adverse effect on the environment. Therefore, the project is categorically exempt from the provisions of CEQA. The Planning Director has further determined that none of the six exceptions to the use of a categorical exemption apply to this project (CEQA Guidelines Section 15300.2).

A written staff report will be available at or before the hearing for the projects. All persons wishing to address the Commission regarding these matters will be afforded an opportunity in accordance with the Commission's procedures.

**LOCAL APPEAL** – A decision of the Planning Commission may be appealed to the City Council by an aggrieved person by written statement setting forth the grounds for appeal. An appeal shall be filed with the City Clerk within ten days following the date of action (15 days for tentative maps) for which the appeal is made and shall be accompanied by an appeal form and filing fee, as specified by the City Council. Appeal forms may be found online at [www.malibucity.org/planningforms](http://www.malibucity.org/planningforms) or in person at City Hall, or by calling (310) 456-2489, extension 245.

**COASTAL COMMISSION APPEAL** – For projects appealable to the Coastal Commission, an aggrieved person may appeal the Planning Commission's approval to the Coastal Commission within 10 working days of the issuance of the City's Notice of Final Action. Appeal forms may be found online at [www.coastal.ca.gov](http://www.coastal.ca.gov) or in person at the Coastal Commission South Central Coast District office located at 89 South California Street in Ventura, or by calling 805-585-1800. Such an appeal must be filed with the Coastal Commission, not the City.

IF YOU CHALLENGE THE CITY'S ACTION IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY, AT OR PRIOR TO THE PUBLIC HEARING.

RICHARD MOLLICA, Planning Director

Date: January 26, 2023

Received

03/06/23

Planning Dept.

Rebecca Evans

---

**From:** Tyler Eaton  
**Sent:** Monday, March 6, 2023 9:23 AM  
**To:** Rebecca Evans  
**Subject:** FW: Objecting to Home at 6734 Zumirez

Another for 4B

---

**From:** Paul Taublieb <paul@taubliebfilms.com>  
**Sent:** Sunday, March 5, 2023 7:44 PM  
**To:** Tyler Eaton <teaton@malibucity.org>; Richard Mollica <rmollica@malibucity.org>  
**Cc:** [REDACTED]  
**Subject:** Objecting to Home at 6734 Zumirez

Dear Tyler and Richard,

Having viewed the story poles at 6734 Zumirez Drive I would like to express my objection on my behalf, and those of my neighbors, here on Zumirez Drive, to this proposed construction. I live nearby at [REDACTED] Zumirez and believe this building will set a horrible precedent for the neighborhood. In addition, building out on top of the ravine and that requires massive moving of dirt and extensive fuel modification in that area will also have a negative impact on what is a sensitive habitat.

Please do not approve the project as proposed and indicated by the story poles - they are up for this exact reason and clearly indicate this home should not be built as-is.

Paul Taublieb & Susan Cooper  
[REDACTED] Zumirez Drive

Paul Taublieb  
TAUBLIEB FILMS/Media-X International, Inc.  
[paul@taubliebfilms.com](mailto:paul@taubliebfilms.com)  
310-589-3837 O  
[REDACTED] C  
[www.taubliebfilms.com](http://www.taubliebfilms.com)  
[www.vimeo.com/taubliebfilms](http://www.vimeo.com/taubliebfilms)

CC: Planning Commission, PD,  
Recording Secretary, File

Date Received 03/06/23 Time 7:30 AM  
Planning Commission meeting of 03/06/23  
Agenda Item No. 4B  
Total No. of Pages 1

EXHIBIT C

3/6/2023

Planning Dept.

**From:** [Planning Commission](#)  
**To:** [Jason Ernst](#)  
**Subject:** Fw: Public Comment 3/6/23 Mtg - Agenda 4B - 6734 Zumirez Dr New Development OPPOSITION  
**Date:** Tuesday, March 7, 2023 4:30:52 PM

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**From:** Planning Commission <[planningcommission@malibucity.org](mailto:planningcommission@malibucity.org)>  
**Sent:** Monday, March 6, 2023 5:10 PM  
**Subject:** FW: Public Comment 3/6/23 Mtg - Agenda 4B - 6734 Zumirez Dr New Development OPPOSITION

---

**From:** Mari Stanley <  
**Sent:** Monday, March 6, 2023 3:28 PM  
**To:** Planning Commission <[planningcommission@malibucity.org](mailto:planningcommission@malibucity.org)>  
**Subject:** Fw: Public Comment 3/6/23 Mtg - Agenda 4B - 6734 Zumirez Dr New Development OPPOSITION

I forgot what the width of our street is but I well remember that it is the most narrow in relation to the number of homes on the street. Could Planning Mgr or staff member clarify that this evening please?  
There may be a few other narrow lanes or gated streets such as in gated complexes but none other have the access to the beach that is critical to maintaining a clear thoroughfare for emergency response vehicles at all times, all hours.  
Thank you!  
Mari Stanley

----- Forwarded Message -----

**From:** Mari Stanley <  
**To:** Janet Friesen <  
**Sent:** Monday, March 6, 2023 at 03:23:44 PM PST  
**Subject:** Fw: Public Comment 3/6/23 Mtg - Agenda 4B - 6734 Zumirez Dr New Development OPPOSITION

FYI but of course I had hours stolen to have added my own avg size of residence to strengthen my Neighborhood Character claim. They have to know that it's the most narrow street but I think I'll have to send a follow up to ask them to clarify it with Planning staff...  
Mari

----- Forwarded Message -----

**From:** Mari Stanley <  
**To:** Planning Commission <[planningcommission@malibucity.org](mailto:planningcommission@malibucity.org)>  
**Sent:** Monday, March 6, 2023 at 03:18:01 PM PST  
**Subject:** Public Comment 3/6/23 Mtg - Agenda 4B - 6734 Zumirez Dr New Development OPPOSITION

Dear Commissioners,

I want to strongly stress the danger of our street in width and in particular with the frontage area of this proposal and surrounding area. Zumirez is a No Parking street in entirety with clear signage displayed, the development is not only large scale it must fully accommodate visitor and service visits fully within it's own property or seek parking arrangements off site and off street elsewhere DURING CONSTRUCTION as well as after completion of any approved permits that may be achieved. The 6734 property cannot have parking on Zumirez Dr. in the vicinity of the project, period. The location is on a curve that creates visual issues for traffic flow and any parking of vehicles that bring workers, site mgr's or architects and supporting overseers would severely clog the street creating extreme safety disadvantages. It also sits close to the beach gate entrance which serves the residents as a privately owned lot and in that manner we provide access to Emergency Service vehicles as a public service to the community and envelope the California Wildlife Rescue services up to Pt Dume Headlands. We cannot tolerate any potential blocking of the street that would occur if parking is not addressed this evening and made a condition of any permit approvals. I will not tolerate individual development rights to ride over the Public Safety rights of others including visitors that access the sand from Paradise Cove or the marine mammals and other wildlife that are protected by law. This does have precedence given the enforcement actions taken against another development a few driveways from 6734 at which time a very limited few city issued temporary parking permits were allowed for one side of the street only. All other parking was sourced off Zumirez with transportation provided by developer. Given that 6734 sits squarely on the curve, I ask that there should be zero parking on the street to preserve Public Safety at a maximum. We have other properties on our street in the process of planning and we cannot have our street become a place with no ingress or egress during working hours. I am very protective of our neighbors to the beach side as many well know, original homeowners and former school Principle who is unable to speak on this matter so I will be speaking for him and his lovely wife - they must have the right of public access for emergency vehicles given the length of time of the anticipated construction eating away at their remaining years left on Earth. I've notified them and their extended family that I will do all that I can to insure their safety and I hold the Planning Commission responsible if this is not taken into consideration this evening. All of us on Zumirez will be impacted by the construction noise and dirt although it's the Merriman's peace of mind that I am most concerned for and seek for them to be respected by the current owners of 6734 with full acceptance of my request to require all construction vehicles and deliveries done on site or to arrange for an off site area to minimize the impact of noise, dust, fumes and rumbling of engines for the hearing issues of Mr. Merriman (his hearing loss enhanced his other senses, heightening sound wave impacts) and Mrs. Merriman's own age related issues. These people are true

treasures of Malibu, please ensure that the developers treat them with full respect so that we can continue to enjoy seeing them out on the street to enjoy their day or visit neighbors.

I'll also bring up the fact that the house currently sited on 6734 is one of the smaller residences on the street and the home being proposed will fundamentally alter the current Neighborhood Character - going from one of the smallest to arguably one of the largest yet it is not in line with the other properties given the lot size. I'm removing the bluff top properties from this assessment given that the construction of 6830 was presented as a measurement in line with other nearby blufftop properties and residents well remember the city's embrace of the arguments poised by those land planning consultants that achieved the gains sought. I do not see the 6734 site as a bluff top property definition and yet it seems to be trying hard to grow into a bluff top property by it's commanding presence as the far edge of the property that will create light pollution into the gully and across to the residents of Paradise Cove MHP as well as immediate neighboring properties. The height alone makes the proposal a daunting facade and will be easily visible from the sand which may be a safety hazard to the owners given the ease of access through the vegetation to the back of the property and thereby endangering all of the other properties along the back side of Zumirez facing eastward. I prefer that our neighbor properties safety be better protected with a less obtrusive and 'inviting' presence, specifically seeing that the second story will be a deck affording everyone noise and act as a potential attractive nuisance with the Summer crowds that we've been dealing with in past years.

I now want to speak in support of our neighbors that are opposing this project for very good reasons, height/noise/light pollution/setbacks. Both my husband and I stand firmly with the Zicklins, the Penn's, the Friesen's and now I understand the Hilton's also have been vocal of their concerns. We add our voices to them all and specifically Ms. Friesen given the way the project before you will be looking directly into the Friesen home and backyard - looming over it actually. Their backyard would become an open theater of sorts with all actions normally afforded a family residence on full display. The noise from the rooftop deck will literally fall on the roof and into the yard from simple daily life to say nothing of having any company or a party held at 6734. The Penn property suffered the loss of the matron and that should not be translated to a reduced ownership or reduced rights, I am hopeful that there will be a strong representation this evening and if not we'll just grow more support on the street in memory of Eileen and Leo if/when the project appears before Council. It appears to be designed to take a lot from from neighbors to enrich the one property and that cannot be allowed to proceed without adding my concerns for the people that I call 'chosen family' for the years of coming together in fires, storms, road closures and for all the good times that we've enjoyed - thankfully more of the good stuff than the OMG stuff. This project before

you tonight fits more into the OMG category in my view. The development is an obvious flip project as the owners are said to have fully admitted, can't help myself as I don't think a project should be built that consumes all of the available building space and leaves no future owner any room to personalize their home to their tastes. People don't consume alcohol as much as they used to, that wine cellar may be a negative aspect more than an amenity to future buyers...just one aspect of my judging the layout and sneer at the obvious grasping of profits with no qualms as to who is devoured in the consumption of wonderful land that has been kindly treated for generations. We consider ourselves very fortunate to have known the previous owners or two generations of that lovely family. Beautiful people that helped to shape Malibu, it's sad that someone seeks to unravel all of the good faith that has been rooted in the lot for profits - the prostitution of Malibu is one ugly business.

When will we see better controls of development and the variances that are sought? I think the **pushing-the-maximum-to-see-what-they-can-win-mentality** is worth sneering at and I ask that all planners involved, planning dept supervisors, manager as well as administrative management at City Hall begin to capture and analyze the estimated costs of city labor in researching the variances and presenting them for review by outside agencies (more public monies consumed!) and Planning Commissioners (free labor but valuable time invested in the community by strong individuals who embrace our Mission AND Vision Statement) - we're being used and we should not take it lying down anymore. Reducing costs is paramount to insure that all of us receive the maximum Public Benefit for the expenditure of Public Funds, far more important to the City's health than to suffer our city staff having to cater to developers and hired land use consultants 'wish lists'! I believe that the burn out that is said to be impacting our planners is in large part for feeling like they are doing worthless work they can't even support but there it is because some are playing with our codes and our staff like game pieces.

Thank you for your time this evening and for all of the hours spent reviewing the agenda items this evening,  
Mari Stanley

6XXX Zumirez Dr. (opposite of 6734 - I mourn the potential loss of the small view corridor that we have to check weather and road conditions down coast)

**From:** [Planning Commission](#)  
**To:** [Jason Ernst](#)  
**Subject:** Fw: 6734 Zumirez Road—Coastal Development Permit No. 20-068 [JMBM-LA.82538.0001]  
**Date:** Tuesday, March 7, 2023 4:37:49 PM  
**Attachments:** [image001.png](#)

---

**From:** Matt Hinks <MH2@JMBM.com>  
**Sent:** Monday, March 6, 2023 5:10 PM  
**To:** Planning Commission <planningcommission@malibucity.org>  
**Subject:** RE: 6734 Zumirez Road—Coastal Development Permit No. 20-068 [JMBM-LA.82538.0001]

Thank you Rebecca.

---

**From:** Planning Commission <planningcommission@malibucity.org>  
**Sent:** Monday, March 6, 2023 5:10 PM  
**To:** Matt Hinks <MH2@JMBM.com>  
**Subject:** RE: 6734 Zumirez Road—Coastal Development Permit No. 20-068 [JMBM-LA.82538.0001]

Matt,

Your correspondence has been forwarded to the Commissioners for their consideration.

Rebecca Evans, Recording Secretary

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**From:** Matt Hinks <[MH2@JMBM.com](mailto:MH2@JMBM.com)>  
**Sent:** Monday, March 6, 2023 4:33 PM  
**To:** Planning Commission <[planningcommission@malibucity.org](mailto:planningcommission@malibucity.org)>  
**Cc:** Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)>  
**Subject:** 6734 Zumirez Road—Coastal Development Permit No. 20-068 [JMBM-LA.82538.0001]

Dear Planning Commission Staff and Mr. Eaton—

Please see attached correspondence on Item 4B (6734 Zumirez Drive/Coastal Development Permit No. 20-068) for tonight's Planning Commission meeting. Please also forward this submission to the Planning Commissioners.

Thank you,

**Matthew D. Hinks** | Partner  
**Jeffer Mangels Butler & Mitchell LLP | JMBM**  
1900 Avenue of the Stars, 7th Floor, Los Angeles, California 90067  
**D:** (310) 201-3558 | **F:** (310) 203-0567  
[VCARD](#) | [BIO](#) | [BLOG](#) | [LINKEDIN](#)



Date Received 3/6/2023 Time 4:33pm  
Planning Commission meeting of 3/6/23  
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Total No. of Pages 6

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Matthew D. Hinks  
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Los Angeles, California 90067-4308  
(310) 203-8080 (310) 203-0567 Fax  
www.jmbm.com

March 6, 2023

**VIA ELECTRONIC MAIL (PlanningCommission@malibucity.org)**

City of Malibu Planning Commission  
Hon. Dennis Robert Smith, Chair  
Hon. John Mazza, Vice Chair  
Hon. Kraig Hill  
Hon. Jeffrey Jennings  
Hon. Skylar Peak  
City of Malibu  
23825 Stuart Ranch Road  
Malibu, California 90265

Re: 6734 Zumirez Road—Coastal Development Permit No. 20-068

Hearing Date: March 6, 2023

Time: 6:30 p.m.

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)

Dear Chair Smith, Vice Chair Mozza, and Commissioners Hill, Jennings, and Peak:

This office is counsel to IBN Properties, Inc., the applicant for the development project located at 6734 Zumirez Road (the “Project”).

The Staff Report for the Project recommends approval because the Project is fully consistent with all applicable provisions of the Malibu Local Coastal Program and Malibu Municipal Code. We urge the Commission to support and adopt Staff’s well-reasoned and well-supported recommendation. We write though to address a few issues that have been raised in recent days that are in need of clarifying.

**Views from Paradise Cove Beach are irrelevant.**

First, the Staff Report states that “the site is visible from the beach” and concludes that the “proposed development would [not] have a significant visual impact from the beach.” (p. 6; *see also* p. 16 (“The subject property is visible from Paradise Cove Beach; however, the proposed single family residence will not significantly impact public views of the Pacific Ocean and is not anticipated to block views of the Santa Monica Mountains from the beach.”)).

The Staff Report’s conclusion that the Project will not significantly impact views from the beach is correct. But the Staff Report is missing the bigger picture that the Commission should be aware of.

Because Paradise Cove Beach is a private beach, the only “public” areas are seaward of the mean high tide line—*i.e.*, the ocean. However, the Coastal Act does not protect views of the coast from off-shore locations. *Schneider v. California Coastal Comm’n*, 140 Cal. App. 4th 1339 (2006). Thus, whether or not the Project is visible from Paradise Cove Beach is immaterial and cannot not impact the Commission’s review of the Project.

*Schneider* involved a proposed single-family home in San Luis Obispo County. The Coastal Commission approved a Coastal Development Permit. But because the “proposed development would be visible from the ocean,” the Commission imposed conditions requiring that proposed structures be sited at a higher elevation and clustered. *Id.* at 1342-43.

The Court of Appeal rejected the condition and directed the trial court to issue a writ of mandate commanding the Coastal Commission to set aside its decision and rehear the matter. *Id.* at 1342. The Court held that the Commission’s “expansive reading of the [Coastal Act] stretches the fabric too thin” and that “it is unreasonable to assume that the Legislature has ever sought to protect the occasional boater’s views of the coastline at the expense of a coastal landowner.” *Id.* at 1345. The Coastal Act contains no “***unwritten policy to protect scenic views of the coast from offshore.***” *Id.* at 1348 (emphasis supplied).

The City’s Land Use Plan (“LUP”) also supports this point. Under LUP section 6.2, places along public beaches are deemed to be public viewing areas and states that, “[t]he LUP Public Access Map shows public beach parks and other beach areas accessible to the public that serve as public viewing areas.” But Paradise Cove Beach is not mapped. The LUP thus does not consider it to be a public viewing area. What’s more, LUP policy 6.4 defines “scenic areas,” but specifically excludes “residential development inland of Birdview Avenue and Cliffside Drive on Point Dume.” Thus, the applicant’s property, by definition, is not a scenic area.

In short, *Schneider* remains good law and is binding authority in the State of California. Consequently, the Commission does not have authority under the Coastal Act or Local Coastal Program to consider views of the Property from the beach.

**The Municipal Code does not regulate view impacts from structures below 18 feet.**

Second, issues have been raised concerning the impacts of the proposed structures below 18 feet on blue water views. The Staff Report correctly observes that neither the Local Coastal Program nor the Malibu Municipal Code protects blue water views from portions of structures below 18 feet in height.

The Staff Report has it exactly right. Malibu Municipal Code section 17.40.040(A)(17) specifically *excludes* “the first eighteen (18) feet of the proposed building height as measured from the existing natural grade or finish grade whichever results in a lower building height” from primary view corridors. It is for that reason that Malibu Municipal Code section 17.62.060 exempts projects proposing structures 18 feet in height or less from site plan review.

While the Project proposes structures greater than 18 feet in height, no blue water views are impacted above the 18-foot level. What’s more, any partial blockages from structures below 18 feet in height may not be considered as doing so would be in direct contravention of the Municipal Code. *See City and County of San Francisco v. Superior Court*, 53 Cal. 2d 236, 250-51 (1959) (administrative officials may not take actions that are inconsistent with municipal ordinances); *Land Waste Mgmt. v. Bd. of Supervisors*, 222 Cal. App. 3d 950, 958 (1990) (land use permits must be consistent with zoning ordinances; inconsistencies are void and *ultra vires*).

**The Project is plainly subject to a Class 3 Categorical Exemption.**

Third, Frank Angel submitted a letter today taking issue with Staff’s determination that the Project is eligible for a categorical exemption under CEQA Guidelines § 15303(a) and (e). Mr. Angel is wrong. A Class 3 exemption under CEQA Guidelines § 15303(a) and (e) is available for, “[o]ne single-family residence, or a second dwelling unit in a residential zone” and “[a]ccessory (appurtenant) structures, including garages, carports, patios, swimming pools, and fences.”

Mr. Angel suggests that only “small” single-family residences are subject to the exemption, but he is incorrect. Single-family residences are among the class of “small structures” identified in CEQA Guidelines § 15303 as being subject to an exemption. But all single-family residences in residential zones are exempt. In fact, CEQA Guidelines § 15303(a) exempts up to three single-family residences in urbanized areas. In *Berkeley Hillside Preservation v. City of Berkeley*, 241 Cal.App.4th 943 (2015), for example, the Court of Appeal upheld a Class 3 exemption for a 6,478-square-foot house with an attached 3,394-square-foot 10-car garage—a development larger than the Project.

Thank you for your attention to these points.

City of Malibu Planning Commission  
March 6, 2023  
Page 4

Very truly yours,



MATTHEW D. HINKS of  
Jeffer Mangels Butler & Mitchell LLP

MDH:mh2

cc: Tyler Eaton

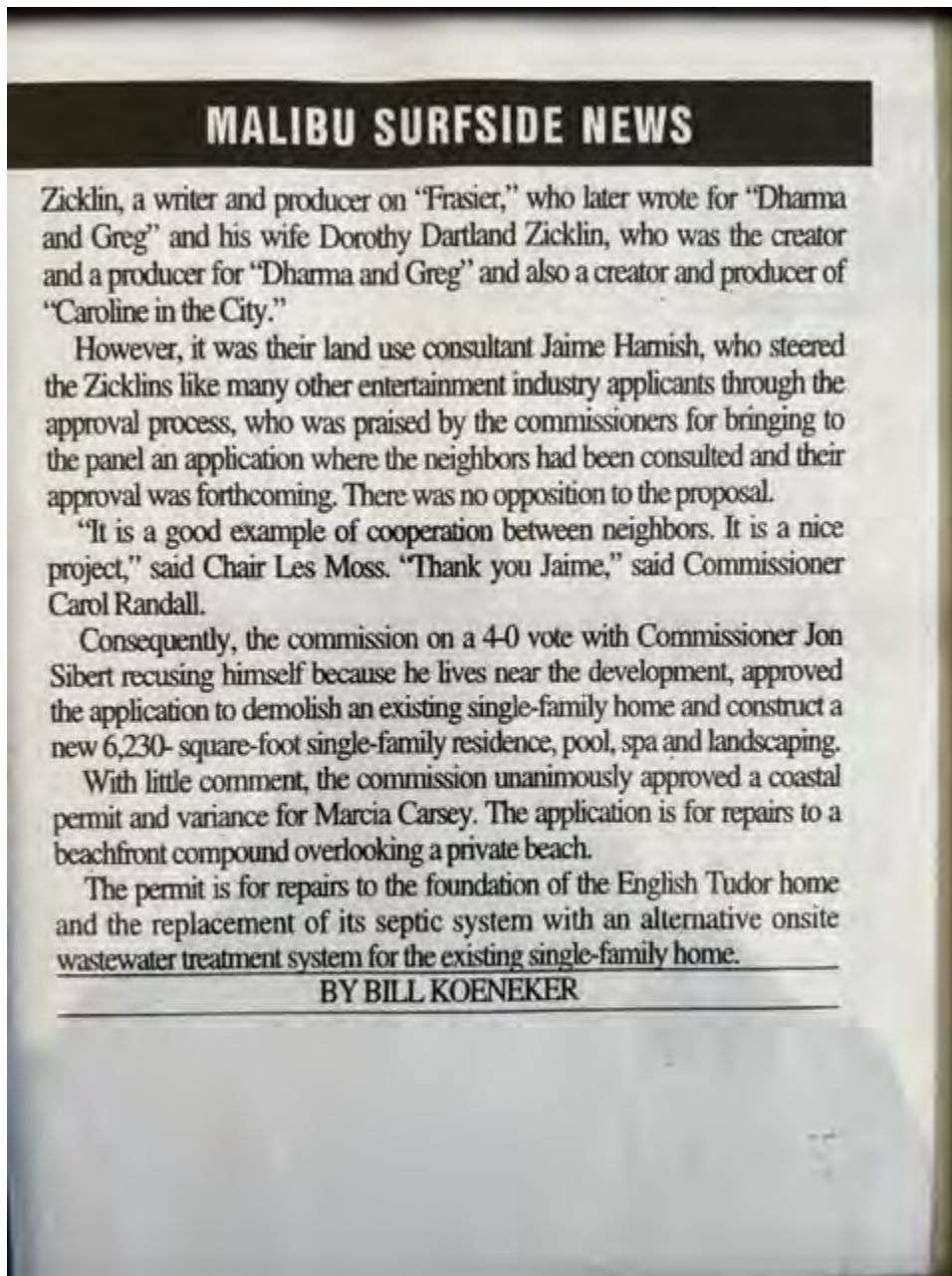
03/06/23

Planning Dept.

**Rebecca Evans**

**From:** jaime harnish [REDACTED] >  
**Sent:** Monday, March 6, 2023 9:01 AM  
**To:** Rebecca Evans  
**Subject:** Please submit

Thank You.



Sent from mv iPhone

CC: Planning Commission, PD,

Recording Secretary, File

Date Received 03/06/23 Time 9:01 AM  
 Planning Commission meeting of 03/06/23  
 Agenda Item No. 4B  
 Total No. of Pages 1

03/03/23

Planning Dept.

**Rebecca Evans**

**From:** jaime harnish <[REDACTED]>  
**Sent:** Friday, March 3, 2023 4:12 PM  
**To:** Tyler Eaton; [REDACTED]; Eric Zicklin; dottie zicklin; Ryan Levis; scott halley  
**Cc:** Patricia Salazar; Rebecca Evans; brandee; josh brolin; jac brolinproductions  
**Subject:** Re: 6734 Zumirez dr.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brandee,

I see that Josh has written a letter in favor of the new house at 6734 Zumirez. I do not think that Josh is aware that many neighbors are affected by the proposed encroachment of the project up to the top of the ravine blocking at least three neighbors' views of the ocean. The neighbors are collectively asking that the developer move the house appx. 35 feet from the top of the ravine towards the street which will still allow the house to be built and preserving its views. Please note that Eric and Dottie Zicklin, Shaun Penn and family and Janet Friesen all will have their ocean views impacted. Steve and Lisa Hilton Family across the street are also not happy with the design. The neighbors are not opposed to reasonable development but not when it encroaches to the top of a ravine with stream below that would severely impact their views of the ocean and habitat value of the ravine. The existing pattern of development on this side of the street has been designed to protect neighbors' views. This project does not protect their views or the habitat value of the ravine. Thank You, hope you are all well.

JAIME HARNISH

P.O. BOX 6363  
 Malibu, CA. 90264

[REDACTED]  
 29178 Heathercliff rd.  
 Malibu, CA. 90265

---

**From:** Tyler Eaton <teaton@malibucity.org>  
**Sent:** Friday, March 3, 2023 3:51 PM  
**To:** jaime harnish <[REDACTED]>; [REDACTED]; Eric Zicklin <[REDACTED]>; dottie zicklin <[REDACTED]>; Ryan Levis <[REDACTED]>; scott halley <[REDACTED]>  
**Cc:** Patricia Salazar <psalazar@malibucity.org>; Rebecca Evans <revans@malibucity.org>  
**Subject:** RE: 6734 Zumirez dr.

Hi Jaime,

See attached. Thank you.

CC: Planning Commission, PD,

Recording Secretary, File

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 Planning Commission meeting of 03/06/23  
 Agenda Item No. 4B  
 Total No. of Pages 2

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**From:** jaime harnish [REDACTED] >  
**Sent:** Friday, March 3, 2023 1:04 PM  
**To:** Tyler Eaton <teaton@malibucity.org>; [REDACTED]; Eric Zicklin <[REDACTED]>; dottie zicklin [REDACTED] >; Ryan Levis [REDACTED] >; scott halley [REDACTED] >  
**Subject:** Re: 6734 Zumirez dr.

Hi Tyler, I understand from Don Schmidts that the has a letter submitted to the file from a neighbor who supports the project. Can you please send us a copy of that letter or email so we can see who it is and what address their property is at. I believe that it could be a neighbor friend who has no impact from the project. perhaps on the other side of the road. I believe this letter is of public record.

Thank You Tyler

JAIME HARNISH  
P.O. BOX 6363  
Malibu, CA. 90264  
[REDACTED]  
29178 Heathercliff rd.  
Malibu, CA. 90265  
[REDACTED]

---

**From:** Tyler Eaton <[teaton@malibucity.org](mailto:teaton@malibucity.org)>  
**Sent:** Friday, February 10, 2023 11:12 AM  
**To:** jaime harnish [REDACTED]  
**Subject:** Automatic reply: 6734 Zumirez dr.

Out of the office until Monday. Contact [mplanning@malibucity.org](mailto:mplanning@malibucity.org) for general inquiries.

Thank you,

Tyler Eaton

Received

03/06/23

Planning Dept.

## Planning Commission

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**From:** Cooper Kass <ckass@angellaw.com>  
**Sent:** Monday, March 6, 2023 12:10 PM  
**To:** Planning Commission; Tyler Eaton  
**Cc:** Frank Angel; Lake McManus  
**Subject:** Item 4B Janet Friesen/Angel Law Comment Letter  
**Attachments:** 2023-03-06 Malibu Planning Commission comment letter.pdf

Dear Planning Commission Staff & Mr. Eaton,

On behalf of Janet Friesen, please see attached Angel Law's comment letter on Item 4B (6734 Zumirez Drive/Coastal Development Permit No. 20-068) for tonight's Planning Commission meeting. Please also forward this submission to Dennis Robert Smith, John Mazza, Kraig Hill, and Jeffrey Jennings.

Thank you,  
Cooper Kass

---

**Cooper Kass, Esq.** | Associate Attorney  
Office: (310) 314-6433  
Direct: (310) 314-6473  
2601 Ocean Park Blvd., Suite 205, Santa Monica, CA 90405

Angel Law

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Total No. of Pages 8

## ANGEL LAW

2601 Ocean Park Blvd., Suite 205  
Santa Monica, CA 90405-5269  
Tel: (310) 314-6433  
angellaw.com

March 6, 2023

City of Malibu  
Attn: Tyler Eaton, Senior Planner  
City of Malibu Planning Commission  
23825 Stuart Ranch Road  
Malibu, California 90265

Via Email to [TEaton@malibucity.org](mailto:TEaton@malibucity.org); [planningcommission@malibucity.org](mailto:planningcommission@malibucity.org)

**Re: Objections to Staff's Recommended** Approval of Coastal Development Permit No. 20-068 and CEQA Exemption for 6734 Zumirez Drive Project

Dear Planning Commissioners and Mr. Eaton:

On behalf of Janet Friesen, the immediate neighbor to the south of the project proposed at 6734 Zumirez Drive (Project), we object to approval of the Project as designed and sited, and we take issue with several conclusions made in the February 23, 2023 Commission Agenda Report (Staff Report), in regard to consistency with the Malibu Local Coastal Program (MLCP) and the proposed categorical exemption from the California Environmental Quality Act. (CEQA; Pub. Resources Code, § 21000 et seq.) We request that the Planning Commission deny Coastal Development Permit No. 20-068 and the CEQA exemption. We request that the City prepare and circulate an initial study under CEQA, not the least to address the MLCP issues and environmental impacts specific to this blufftop development.

### Coastal Bluff Determination

The **MLCP's** Land Use Plan component (MLUP) **requires new blufftop development to "be set back** from the bluff edge a sufficient distance to ensure that it will not be endangered by erosion for a projected 100 year **economic life of the structure plus an added geologic stability factor of 1.5."** (MLUP Policy 4.27.) The **setback must not "be less than 100 feet which may be reduced to 50 feet** if recommended by the City geologist and the 100 year economic life with the geologic safety factor

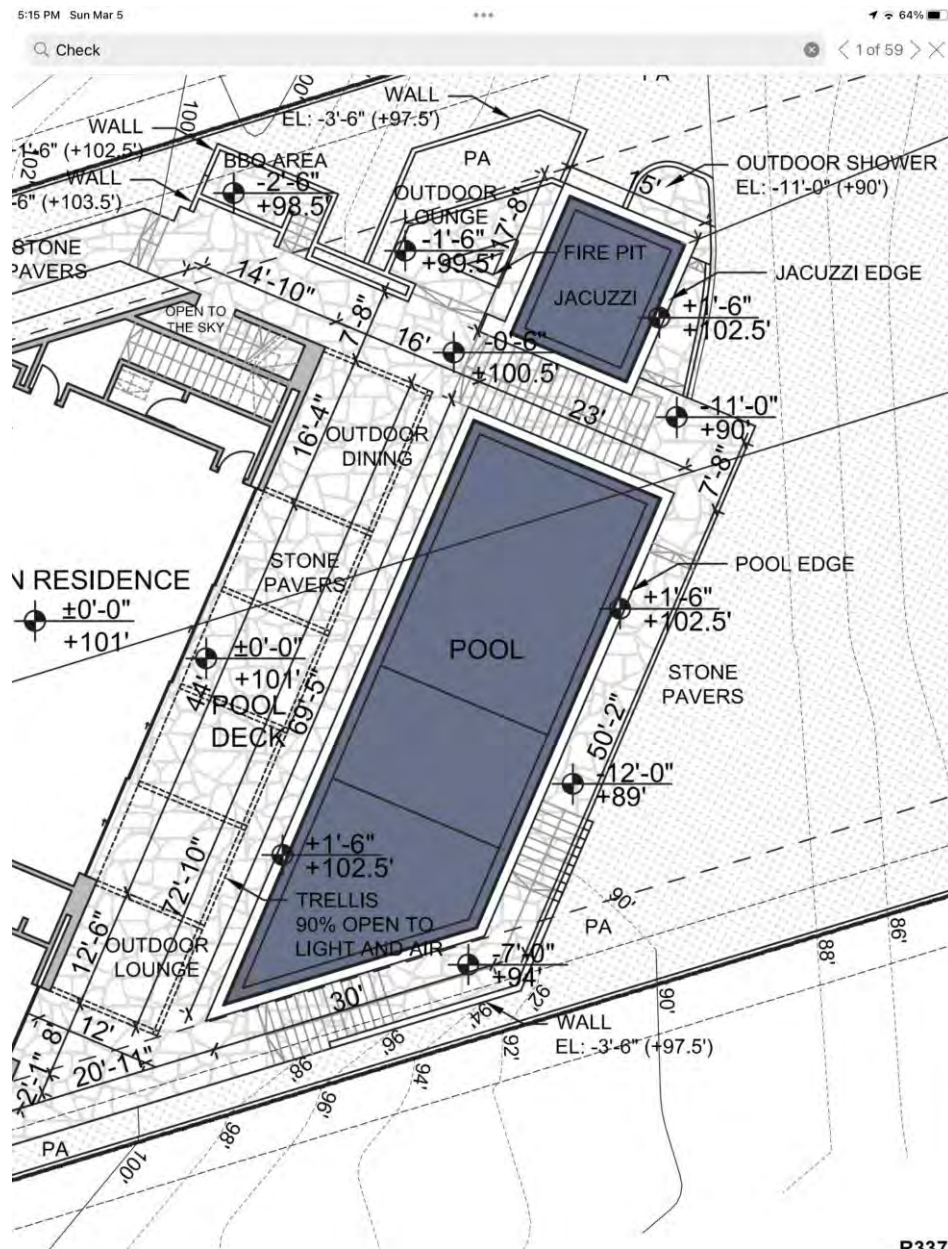
**can be met.”** (*Id.*) Thus, in order to determine a new **development’s required setback, the City must make a determination as to what the “bluff edge” is.**

Importantly, **as we brought to Mr. Eaton’s attention** last month, the **MLCP’s** Local Implementation Plan (MLIP) provides a detailed definition of what constitutes a “bluff edge” in situations where a **bluff’s termini** are not clean cut: “Where a coastal bluff curves landward to become a canyon bluff, the termini of the coastal bluff edge, shall be defined as a point reached by bisecting the angle formed by a line coinciding with the general trend of the coastal bluff line along the seaward face of the bluff, and a line coinciding with the general trend of the bluff line along the canyon facing **portion of the bluff. Five hundred feet (500’) shall be the minimum length of bluff line or edge to be used in making these determinations.**” (LIP, § 2.1.) The Staff Report does not acknowledge this definition, nor does it attempt to calculate the bluff edge relative to the subject property.

It is apparent from several pictures included in the Staff Report and looking up at the Project site from the beach below (at the mouth of an unnamed creek) that the site sits atop a bluff curve, part of the bluff directly facing the Pacific Ocean. (See Staff Report at pp. 140, 162, 165-166, 169-170.) The Staff Report dismisses this particular geomorphology in one sentence, stating: **“Staff reviewed the project’s** geotechnical reports and checked with City geotechnical consultant reviewers and determined that the area of concern, the eastern facing down-sloping portion of the property, is not considered either a coastal or **canyon bluff and therefore the bluff setback does not apply.”** (Staff Report at pp. 4-5.) However, the City of Malibu Geotechnical Review Sheet attached to the Staff Report (Staff Report at pp. 116-119), completed by Engineering Geology Reviewer Christopher Sexton and Geotechnical Engineering Reviewer Ali Abdel-Haq, does not even mention the word **“bluff.”** Further, the Staff Report does not provide **what it refers to as “the project’s geotechnical reports”** supposedly substantiating the **“not-a-bluff”** determination.

The Staff Report’s **only** specific reference to any geotechnical report **is to one “prepared by Solid Soils & Geologic Consultants, dated August 4, 2020, January 28, 2021, March 26, 2021, and May 12, 2021,”** and that reference only **occurs in the Staff Report’s section on Hazards,** which does not address the bluff determination as required by the MLCP. (Staff Report at p. 17.) There is simply nothing before the Commission, aside from the one conclusory sentence quoted above, to **substantiate the “not-a-bluff” determination.** The Staff Report concludes that **“[f]or the reasons described in this report, including the project site, the scope of work and substantial evidence in the record,”** LIP Chapter 10 (the Shoreline and Bluff Development Ordinance) is not applicable to the Project. What reasons? What substantial evidence? The record contains no MLCP-specific analysis, no explanatory graphics, and nothing in the way of Coastal Commission bluff determination guidance as to how this critical **“not-a-bluff” determination was made.**

By making this unexplained determination, the Staff is allowing the Project to skirt the MLIP's Chapter 10 Required Findings and Analysis (LIP, § 10.3) and Development Standards (LIP, § 10.4). This is an issue especially as concerns the site planning for the pool, pool deck, outdoor dining, outdoor lounge, jacuzzi and fire pit components of the Project, all potentially located in the bluff face descending to the creek, as shown on this excerpt from the project plans:



### Hillside Development Standards

The Staff Report downplays Mr. Jamie Harnish's questions regarding the stream at the bottom of the subject property and the riparian habitat by citing the MLCP's **differential treatment** of streams in the Point Dume area: "New development shall provide a buffer of no less than 100 feet in width from the outer edge of the canopy of riparian vegetation...**However, in the Point Dume area, new development shall be designed to avoid encroachment on slopes of 25 percent grade or steeper.**" (Staff Report at p. 6; LIP, § 4.6.1(A).) The Staff Report **states: "The proposed project avoids 4 to 1 slopes or steeper, which is evident on the applicant's stamped color-coded slope analysis and geology reports submitted for the project."** (Staff Report at p. 6.) **As stated above, there are no** geology reports before the Commission and the public. However, a one-page color-coded slope overlay, referred to as a **slope "analysis,"** is attached to the staff report. (Staff Report at p. 48.) It shows the Project in two colors: Yellow for areas flatter than 4:1, and Green for areas 4:1 and steeper.

But there is no actual analysis explaining how the two categories of gradients (4:1 slope and steeper; gentler than 4:1 slope) were determined and calculated. There is no slope worksheet. There is no to-scale slope projection, i.e., cross-section showing the total slope area that was considered. There is no determination of the bluff or slope edge, i.e., the upper elevation of the onsite slope area. There is no specification of the horizontal distance (the run) between the contour lines. These omissions are highly problematic given that a substantial portion of the proposed development, including pool and pool deck areas, are sited in the slope below the 102' elevation, **down to the 90' elevation.** Looking at the contour lines on the project plans and the run from the **100' index** contour line or **even the 102' contour line** to the lowest onsite elevation mapped, it appears that the onsite slope area has a gradient steeper than 25%, if not 30%.

Furthermore, the Staff Report ignores significant slope-related parts of Chapter 6 of the MLIP, a Chapter which admittedly is applicable to the project. (Staff Report at p. 9.) In its section entitled **"Scenic, Visual and Hillside Resource Protection (MLIP Chapter 6),"** the Staff Report fails to discuss the hillside at all. It states: **"The Scenic, Visual and Hillside Resource Protection Chapter governs those coastal development permit applications concerning any parcel of land that is located along, provides views to or is visible from any scenic area, scenic road or public viewing area."** (Staff Report at pp. 16-17.) **That's part of it, but not the whole story of Chapter 6.** The **"Applicability"** section of Chapter 6 states that **"[t]he hillside development standards of this chapter shall apply to properties where the project site includes any area of slope over 20 percent."** (LIP, § 6.2.) By failing to identify, or rule out, Project areas with slopes over 20%, the Staff Report fails to address **Chapter 6's hillside development requirements.**

### Scenic and Visual Resources Determination

The Staff Report admits that “[t]he subject parcel is visible from Paradise Cove Beach, an MLCP designated scenic area,” and thus discusses the five required findings of MLIP Section 6.4. (Staff Report at pp. 16-17.) In its findings, the Staff Report claims that “although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.” (Staff Report at p. 16.) Additionally, it claims that because “the proposed single-family residence will not significantly impact public views of the Pacific Ocean and is not anticipated to block views of the Santa Monica Mountains,” the Project “as designed, is sited to eliminate, minimize or otherwise contribute to conformance to sensitive resource policies.” (Staff Report at p. 17.)

However, because the Staff Report makes these claims without supporting analysis, the claims are entirely conclusory and unsubstantiated. MLIP Section 6.4 states explicitly that the required “findings shall address the specific project impacts relative to the applicable development standards identified in Section 6.5 of the Malibu LIP.” (LIP, § 6.4(A).) The Staff Report does not mention these development standards.

The Staff Report acknowledges Mr. Ryan Levis’ proposal “to re-site the proposed development 35 feet closer to the street in order to keep it in line with the existing development on the same side of the street.” (Staff Report at p. 6.) Mr. Levis’ proposal may resolve the issue of the Project’s visibility from Paradise Cove Beach, an MLCP designated scenic area. But the Staff Report again discards possible solutions with the bare conclusions that “[t]he project conforms to the LCP and MMC” and “[t]here are no provisions in the code that would require the proposed development to be in line with other development on the same side of the street.” (*Id.*)

In actuality, MLIP Section 6.5 requires new development to “be sited and designed to minimize adverse impacts on scenic areas from scenic roads or public viewing areas to the maximum feasible extent.” (LIP, § 6.5(A)(1).) And, even “[i]f there is no feasible building site location on the proposed project site where development would not be visible, then the development shall be sited and designed to minimize impacts on scenic areas from scenic highways or public viewing areas, through measures including, but not limited to, siting development in the least visible portion of the site, breaking up the mass of new structures, designing structures to blend into the natural hillside setting, restricting the building maximum size, reducing maximum height standards, clustering development, minimizing grading, incorporating landscape elements, and where appropriate, berming.” (*Id.*)

Under the MLUP, Paradise Cove Beach is not only a designated scenic area, but also a public viewing area, as it is a “beach[] that offers scenic vistas.” (MLUP Policy 6.2.) Thus, the view from Paradise Cove Beach in the area of the mouth of the creek towards the scenic Santa Monica

Mountains area is impacted by the Project—as stated above, the Staff Report admits the **Project's** visibility from Paradise Cove Beach. Then, under MLIP Section 6.5, the development is required to minimize those impacts, and MLIP Section 6.5 explicitly offers measures by which a project can do so. These measures are not supposed to remain dead letters.

### Class 3 Categorical Exemption from CEQA Inapplicable

We disagree that the Class 3 categorical exemption the Staff Report cites, set forth in State CEQA Guidelines (Guidelines; Cal. Code Regs., tit. 14, § 15000 et seq.) section 15303, subdivisions (a) and (e) applies to the Project.

Categorical CEQA exemptions are reserved for “**classes of projects which have been determined not to have a significant effect on the environment.**” (Guidelines, § 15300.) And CEQA exemption categories must be construed narrowly—they “‘are not to be expanded beyond the reasonable scope of their **statutory language.**’ [Citation.]” (*Save the Plastic Bag Coalition v. County of Marin* (2013) 218 Cal.App.4th 209, 226.) The introductory language of Guidelines section 15303 makes clear that the Class 3 exemption applies only to **the construction of** “small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of **the structure.**” (Emphasis added.)

Parts of the Project are designed to be 24 feet in height, **which is 33 percent higher than the City's** 18-foot height limit. The **Project's total development square footage (TDSF)** is 7,727 square feet, just short of the maximum 7,760 square feet allowed for this lot. The proposed two-story single-family residence with attached garage covers 6,794 square feet on its own. Table 2 of the Staff Report (see Staff Report p. 8) lists four other single-family residences as “**Adjacent Land Uses**”: 6728 Zumirez Drive, 6725 Zumirez Drive, 6747 Zumirez Drive, and 6744 Zumirez Drive. Respectively, the residence areas of these four properties amount to approximately 3,116 sq. ft., 2,981 sq. ft., 766 sq. ft., and 2,365 sq. ft. Even cherry-picking the largest of those four, the Project dwarfs it. The proposed swimming pool (62.67 ft. by 18.67 ft.) spans approximately 1,170 square feet. It alone (the pool!) would be larger than one of the adjacent homes.

The Project vastly exceeds the Class 3 categorical exemption for small structures.

### Conclusion

We have herein documented **several of the Staff Report's** analytical deficiencies and unsupported conclusions in regard to the **Project's** compliance with the MLCP. We have also explained how the Project is much too large to reasonably qualify for a Class 3 categorical CEQA exemption. It would

Tyler Eaton, Senior Planner  
Planning Commission  
March 6, 2023  
Page 7

therefore be inappropriate for the Planning Commission to approve Coastal Development Permit No. 20-068 for the current Project design and the site planning in relation to the bluff or onsite slope area. Additionally, unless Project size is substantially reduced to support application of the Class 3 categorical exemption, all proposed development must undergo CEQA review before progressing any further. At a minimum, the City must prepare and circulate for public review an initial CEQA study. (See Guidelines, § 15063.)

Sincerely,

ANGEL LAW

A handwritten signature in black ink, appearing to be 'Cooper Kass', written over the printed name 'ANGEL LAW'.

Cooper Kass  
Frank Angel

cc: Dennis Robert Smith, Chair  
John Mazza, Vice Chair  
Kraig Hill  
Jeffrey Jennings

03/06/23

Planning Dept.

**Rebecca Evans**

---

**From:** Tyler Eaton  
**Sent:** Monday, March 6, 2023 9:14 AM  
**To:** Rebecca Evans  
**Subject:** FW: From Josh Brolin re: 6734 Zumirez Dr Build

---

**From:** JB [REDACTED] >  
**Sent:** Saturday, March 4, 2023 1:23 PM  
**To:** Richard Mollica <rmollica@malibucity.org>  
**Cc:** Tyler Eaton <teaton@malibucity.org>  
**Subject:** From Josh Brolin re: 6734 Zumirez Dr Build

Dear Richard and Tyler,

First of all, I hope this finds you both well.

It has been brought to my attention that the letter of support I signed for Jason Rouse's build on 6734 Zumirez Dr wasn't was initially expressed to me. Janet Friesen is a close friend (Jason's direct neighbor) and I didn't realize that the build would block a portion of not only her but others existing views, when it could be easily rectified by Jason building about 35 feet back toward the street (Zumirez).

That said, I admittedly made a mistake by not doing my full due diligence and taking him at his word (I should have known better given I don't know him well). It's simply a major mistake of mine, and so I would like to retract my letter of support.

Is that good enough?

Having gone through this process, the PTSD that resurfaces with any talk of building, I'm sure is my culprit. I don't have enough information to support Jason, nor am I an actual neighbor. I hope that he is able to build within the codes but I have no interest in it other than as a friend of the people who will be directly contrasted by what exists now.

Again, hope you both are well and please let me know if I need to do anything else.

Sincerely,

CC: Planning Commission, PD,

Recording Secretary, File

Date Received 03/06/23 Time 7:30 AM  
Planning Commission meeting of 03/06/23  
Agenda Item No. 4B  
Total No. of Pages 2

Josh Brolin

Received

02/28/23

Planning Dept.

## Planning Commission

---

**From:** Chris Deleau <cdeleau@schmitzandassociates.net>  
**Sent:** Tuesday, February 28, 2023 4:27 PM  
**To:** Planning Commission  
**Cc:** Schmitz and Associates  
**Subject:** Letter of Support for Item 4.B. March 6, 2023 PC hearing: (CDP 20-068) 6734 Zumirez  
**Attachments:** Brolin Support Ltr.pdf  
  
**Importance:** High

To Whom it may concern: Please see the attached letter of support from one of our client's neighbors, Mr. Josh Brolin.

Best Regards,  
Schmitz & Associates, Inc.

**Christopher M. Deleau, JD, AICP**  
Special Projects Manager

*The content of this email is strictly confidential and only intended for the specified recipient. It is forbidden to share the email or its contents with any third party without the sender's written consent. If this email reached you by mistake, please let us know so that we can ensure that this doesn't happen in the future and delete the message.*

CC: Planning Commission, PD,  
Recording Secretary, File

Date Received 02/28/23 Time 4:28 PM  
Planning Commission meeting of 03/06/23  
Agenda Item No. 4B  
<sup>1</sup><sub>224</sub>Total No. of Pages 2

February 27, 2023

City of Malibu  
23815 Stuart Ranch Rd.  
Malibu, CA 90265

RE: CDP No. 20-068: New Residence to be Located at 6734 Zumirez Dr.

Dear Chair Smith and Esteemed Planning Commissioners:

I write to you today to offer my support for my neighbor's new residential project.

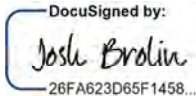
My family has a long history of living on Zumirez Dr. We love the street and the neighborhood and are thankful to have considerate neighbors like Jason. He and his family have been residents of the Malibu community for four generations. I have known him personally since 2009 when I graced the cover of Malibu Magazine, which he owned for more than 15 years.

Jason's existing house is over 70 years old, and it has reached the end of its useful life. I believe that he has sensitively designed his new home, taking into consideration the character of our neighborhood and the privacy of his neighbors.

I like the fact that he has set the main residence back from Zumirez approximately 300'. The guest house is located 142' from the street and limited to one story in height to minimize the massing of the building and its visibility from the street. The house has been stepped into the hillside and oriented 45 Degrees towards the Southeast to preserve the blue water views of the neighboring property. The Second story of the house has been limited to 1,572 sq. ft. only to limit massing and to help avoid the feeling that the building is looming over the neighbors.

All in all, the design is quite beautiful and the project thoughtfully planned. The project is consistent with all of the City's design standards and codes, which are onerous as I know very well from personal experience. I would urge the Commission to approve the project as designed and thank you for your time and consideration of my comments.

Sincerely,

DocuSigned by:  
  
28FA623D65F1458...

Josh Brolin

---

CDP NO. 20-068

Demolition of the Existing Residence, New Single-Family Residence, Second Unit, and Associated Development

6734 Zumirez Drive  
APN 4466-002-001

March 6, 2023  
Planning commission meeting  
Item No. 4.B.

# Vicinity Map



**Legend**  
Project Site



# Project Description

## Scope

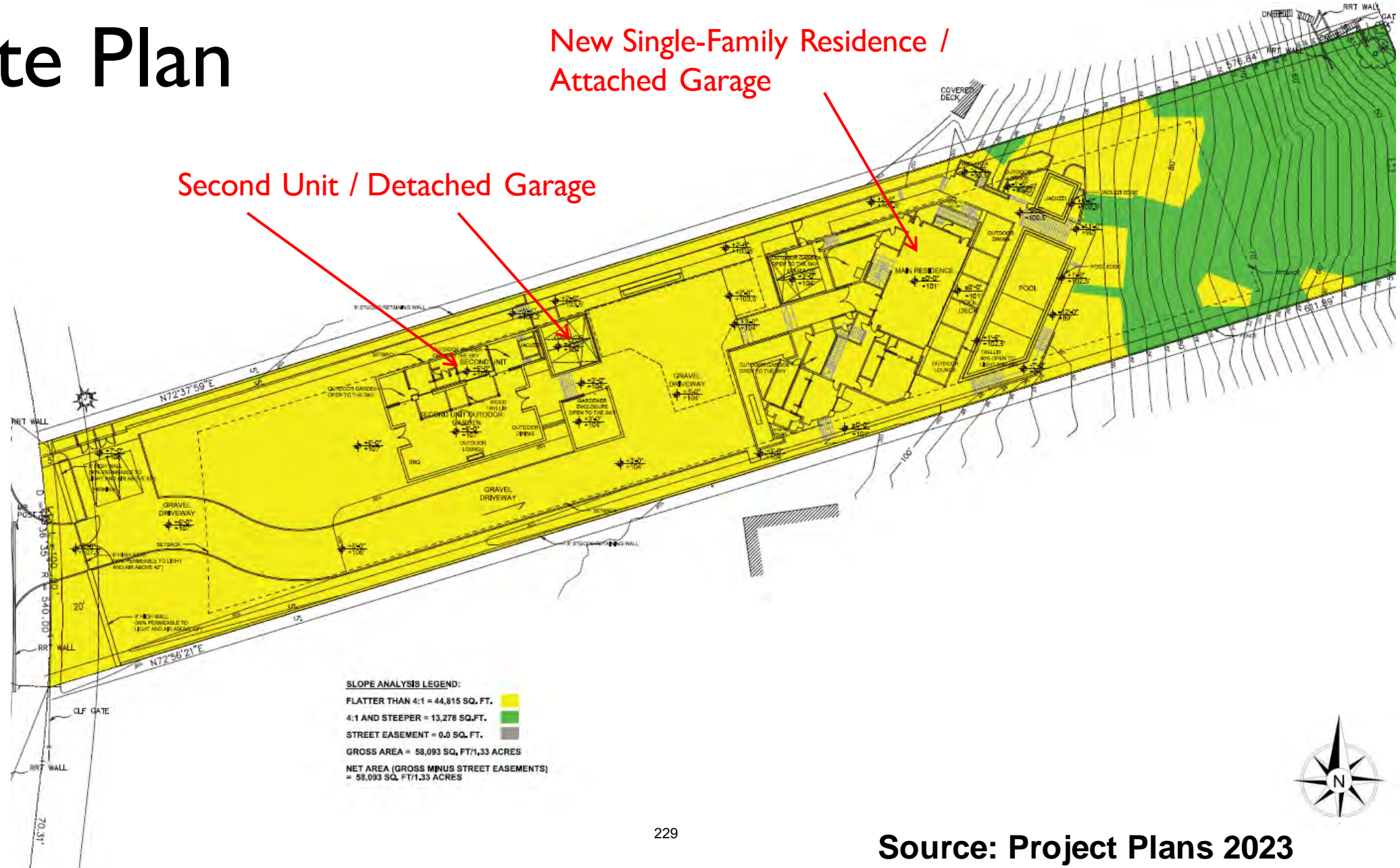
1. Construction of a new 6,284 square foot two-story single-family residence with a 986 square foot basement and 510 square foot attached two-car garage;
2. 471 square foot detached second unit;
3. 462 square foot detached two-car garage;
4. Permeable driveway;
5. 42-inch tall solid and up to 6-foot visually permeable front yard fence and vehicular gate;
6. 6-foot solid side yard walls;
7. Swimming pool (62.67 feet long by 18.67 feet wide) and spa (13.33 feet long by 10.67 feet wide) with associated pool equipment (to be fully screened) and decking;
8. Second unit spa (7 feet long by 7 feet wide);
9. New landscaping;
10. 14,076 square feet of new impermeable surfaces;
11. Open-air garden trellises
12. Water features;
13. Retaining walls (not to exceed six feet in height); and
14. Onsite Wastewater Treatment System.

## Discretionary Requests

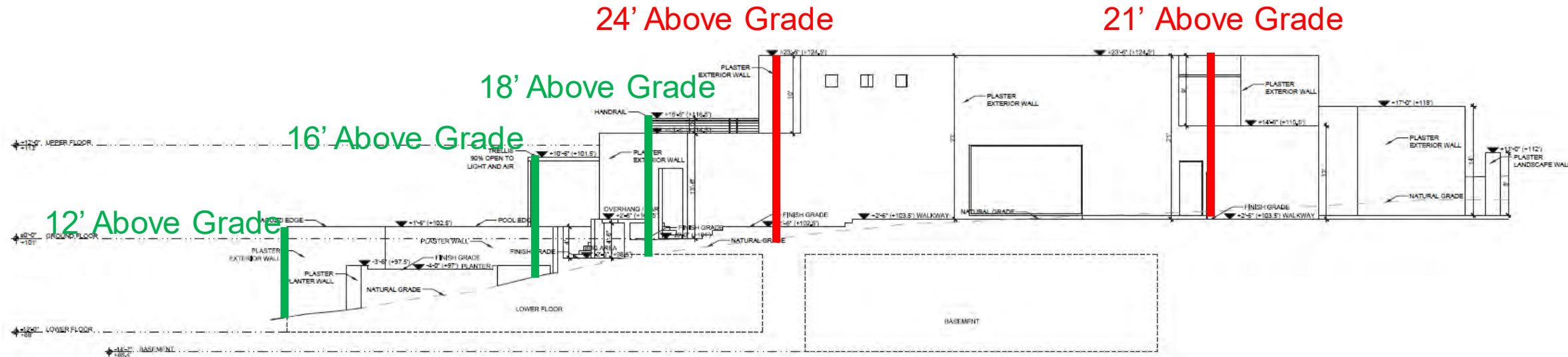
- a. SPR No. 21-009 for height exceeding 18 feet, up to 24 feet for a flat roof.

# Site Plan

Zumirez Drive



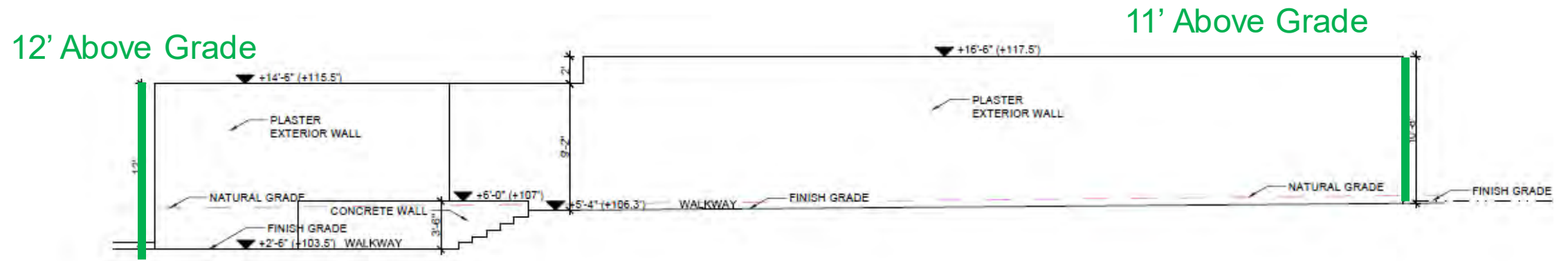
# Elevations: Main Residence



MAIN HOUSE - ELEVATION 4 - NORTH ELEVATION

Source: Project Plans 2023

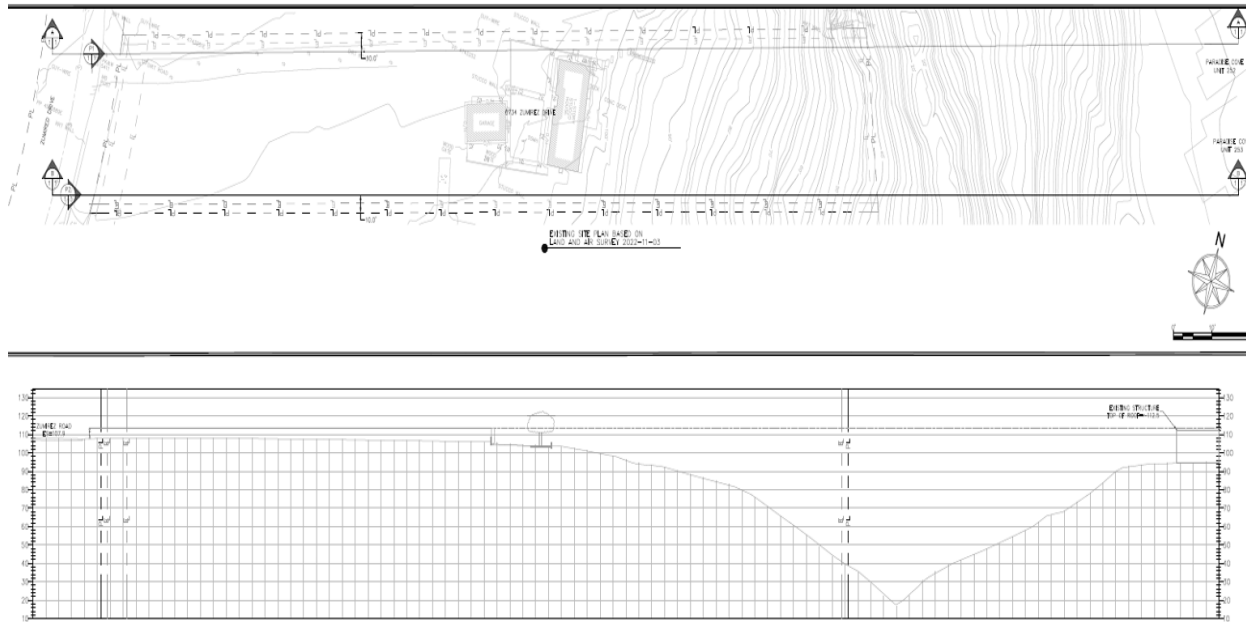
# Elevations: Second Unit



SECOND UNIT - ELEVATION 10 - NORTH ELEVATION

Source: Project Plans 2023

# View Corridor



**Source: Project Applicant's View  
Corridor Demonstration**



**Source: Google Earth**

# Primary Views

Reference Point



Source: PVD No. 12-119



Source: Neighbor Correspondence

# Primary Views



Source: PVD No. 23-001

# Potential Stream

## 4.6.1. Buffers

New development adjacent to the following habitats shall provide native vegetation buffer areas to serve as transitional habitat and provide distance and physical barriers to human intrusion. Buffers shall be of a sufficient size to ensure the biological integrity and preservation of the habitat they are designed to protect. Vegetation removal, vegetation thinning, or planting of non-native or invasive vegetation shall not be permitted within buffers except as provided in Section 4.6.1 (E) or (F) of the Malibu LIP. The following buffer standards shall apply:

### A. Stream/Riparian

New development shall provide a buffer of no less than 100 feet in width from the outer edge of the canopy of riparian vegetation. Where riparian vegetation is not present, the buffer shall be measured from the outer edge of the bank of the subject stream.

**However, in the Point Dume area, new development shall be designed to avoid encroachment on slopes of 25 percent grade or steeper.**

---

## **SUMMARY**

# **ADOPT PLANNING COMMISSION RESOLUTION NO. 23-11 APPROVING THE PROJECT CONDITIONED**

# Bluff Definitions

**BLUFF EDGE** - For coastal and canyon bluffs, the bluff edge shall be defined as the upper termination of a bluff, cliff, or seacliff. In cases where the top edge of the cliff is rounded away from the face of the cliff as a result of erosional processes related to the presence of the steep cliff, the bluff edge shall be defined as that point nearest the cliff beyond which the downward gradient of the surface increases more or less continuously until it reaches the general gradient of the cliff. In a case where there is a steplike feature at the top of the cliff face, the landward edge of the topmost riser shall be taken to be the bluff edge. Where a coastal bluff curves landward to become a canyon bluff, the termini of the coastal bluff edge, shall be defined as a point reached by bisecting the angle formed by a line coinciding with the general trend of the coastal bluff line along the seaward face of the bluff, and a line coinciding with the general trend of the bluff line along the canyon facing portion of the bluff. Five hundred feet (500') shall be the minimum length of bluff line or edge to be used in making these determinations.

**CLIFF** - any high, very steep to perpendicular or overhanging face of rock, a precipice.

**COASTAL BLUFF** - a high bank or bold headland, ten feet (10') or more in vertical extent, with a broad, precipitous, sometimes rounded cliff face overlooking a body of water.

Item 4B  
CDP 20-068  
6734 Zumirez Drive



Presentation before the Malibu Planning Commission

March 6, 2023



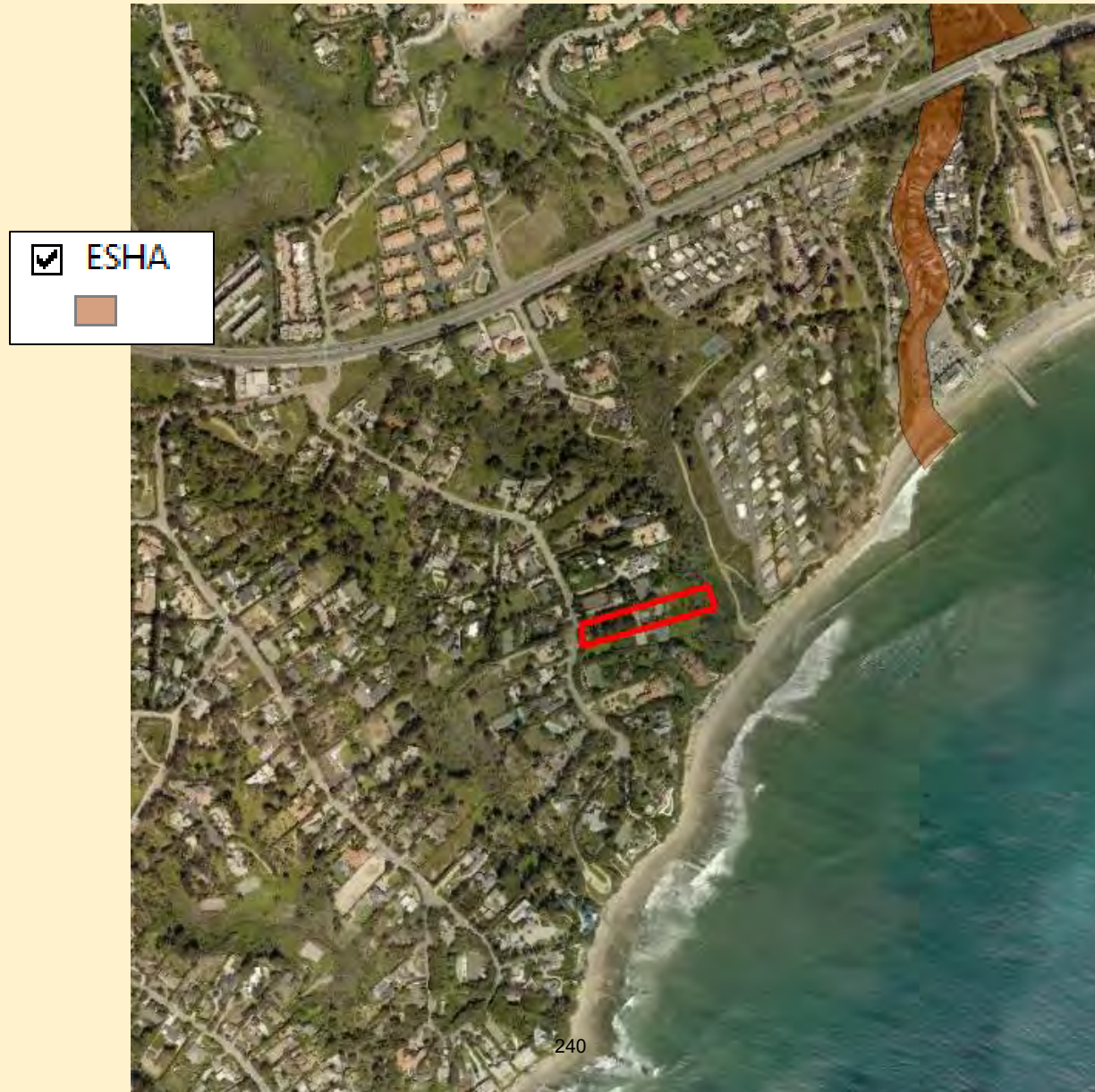
# Project Designed to Comply with LCP



Planning Commission  
Meeting  
03-06-23

Table 3 – LCP Zoning Conformance			
Development Requirement	Allowed/ Required	Proposed	Comments
<b>SETBACKS (ft.)</b>			
Front Yard	65 ft.	142 ft., 5 in.	<u>Complies</u>
Rear Yard	88 ft., 10 in.	139 ft. 6 in.	<u>Complies</u>
10% Side Yard (south)	9 ft., 10 in.	9 ft., 10 in.	<u>Complies</u>
25% Cumulative Yard	24 ft., 7 in.	24 ft., 7 in.	<u>Complies</u>
<b>PARKING</b>			
Enclosed	2	4	<u>Complies</u>
Unenclosed	2	2	<u>Complies</u>
<b>TDSF</b>	7,760 sq. ft.	7,727 sq. ft.	<u>Complies</u>
<b>IMPERMEABLE COVERAGE</b>	17,428 sq. ft.	14,076 sq. ft.	<u>Complies</u>
<b>HEIGHT (ft.)</b>	18 ft.	24 ft. (Flat Roof)	SPR 21-009
<b>1<sup>st</sup> Floor x 2/3<sup>rd</sup>s = 2<sup>nd</sup> Floor square feet</b>	5,222 sq. ft. x 2/3 = 3,499 sq. ft.	1,572 sq. ft.	<u>Complies</u>
<b>SITE OF CONSTRUCTION</b>	Flatter than 4 to 1	Flatter than 4 to 1	<u>Complies</u>
<b>NON-EXEMPT GRADING</b>	< 1,000 cubic yards	920 cubic yards	<u>Complies</u>
<b>FENCES/WALLS/HEDGES/GATES</b>			
Front Yard	42-inches solid w/ area up to six feet to remain view permeable	42-inches solid w/ area up to six feet to remain view permeable	<u>Complies</u>

# Property Not Located in or near LCP-Mapped ESHA



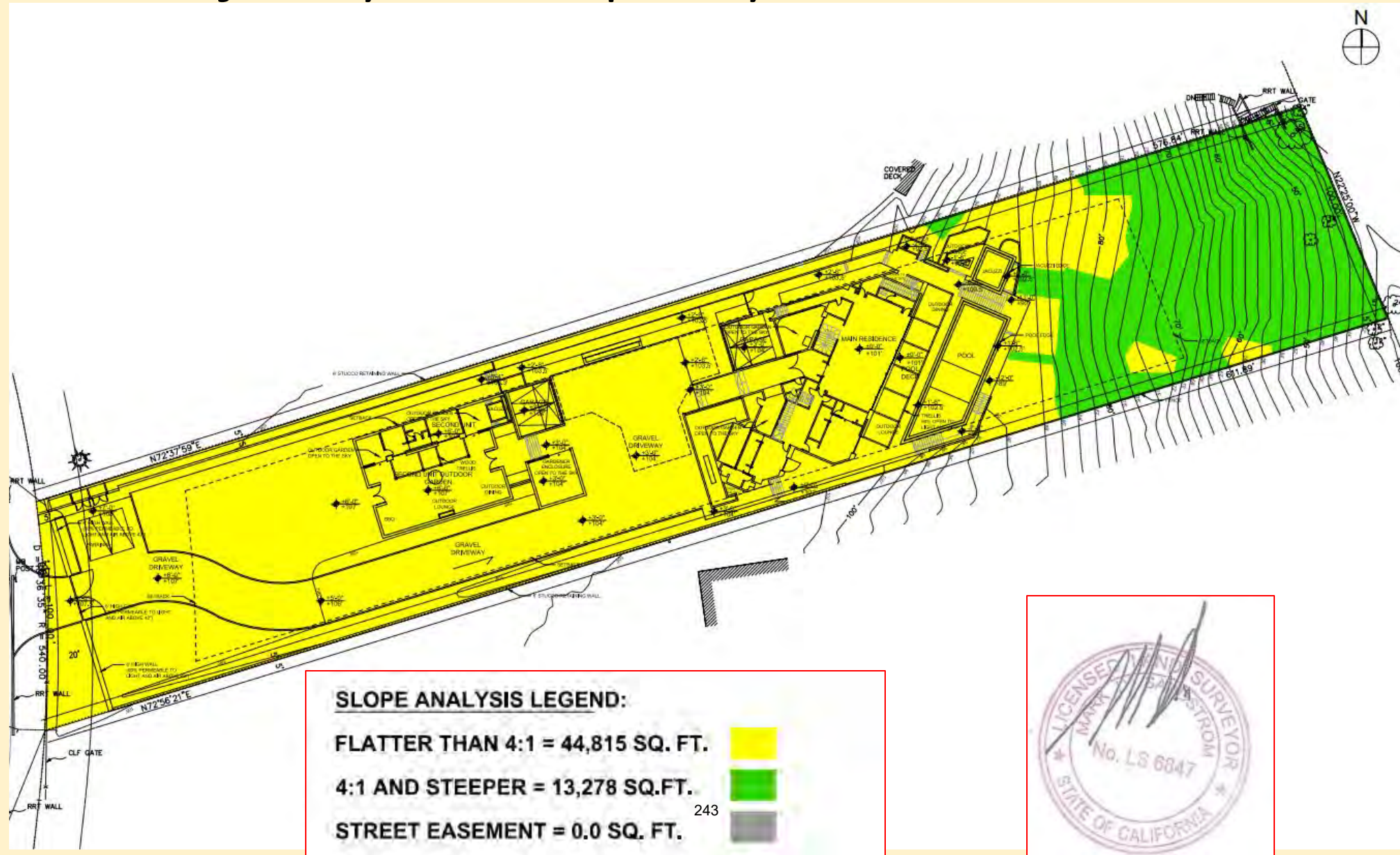
# Property is Highly Disturbed and Developed



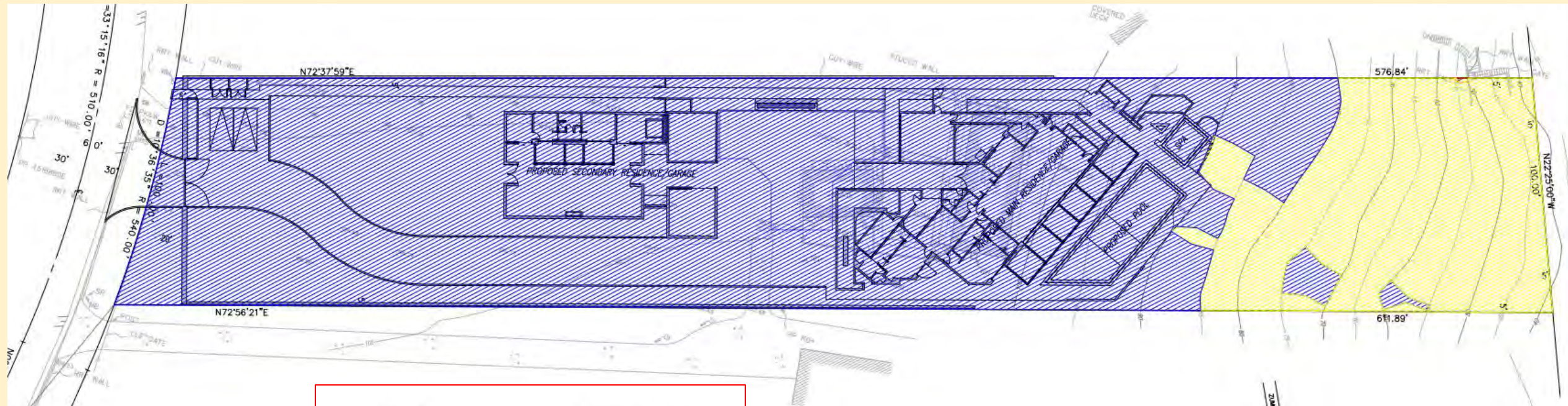
# Property is Highly Disturbed and Developed






# Majority of Property Flatter than 4:1



# Slopes Confirmed by Peak Surveys



Slope %		Planimetric area
4:1 & less		46,121 SQ. FT.
4:1 to 1:1		11,964 SQ. FT.
1:1 to greater		8 SQ. FT.
Totals		58,093 SQ. FT.

THIS SURVEY IS BASED ON A SURVEY PREPARED  
BY, OR UNDER THE DIRECTION OF MARK SANDSTROM  
PLS 6847, DATED 11-05-2018.

*Bill James*

Digitally signed by  
Bill James  
Date: 2023.03.02  
08:27:08 -08'00'



# Major



## Commission Agenda Report

Planning Commission  
Meeting  
03-06-23  
**Item  
4.B.**

# than 4:1

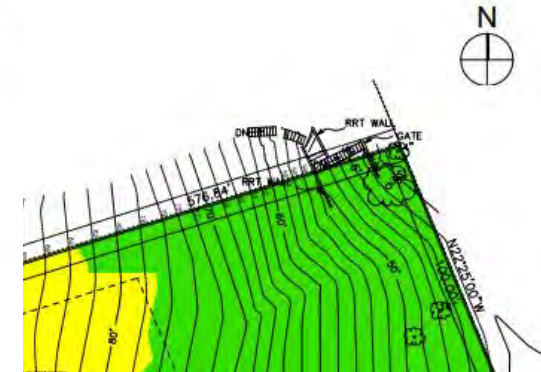
To: Chair Smith and Members of the Planning Commission

Prepared by: Tyler Eaton, Senior Planner

Approved by: Richard Mollica, Planning Director

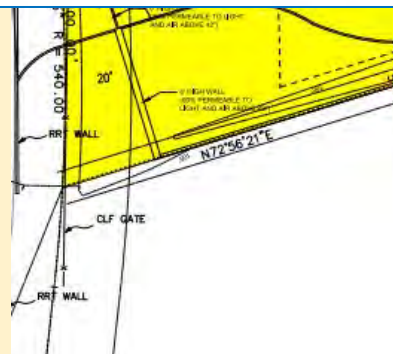
Date prepared: February 23, 2023 Meeting date: March 6, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family



### ESHA (LIP Chapter 4)

Pursuant to LIP Section 4.6.1(A), new development in Point Dume shall be designed to avoid encroachment on slopes of 25 percent grade or steeper. All of the proposed development will be sited to avoid 25 percent slopes and steeper, consistent with LIP Chapter 4. The proposed development will all take place within the two-acre convex development area as defined in LIP Section 3.6(H).



Properties, LLC).

**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

# Overlapping Fuel Modification



Over



## Commission Agenda Report

Planning Commission  
Meeting  
03-06-23  
**Item  
4.B.**

To: Chair Smith and Members of the Planning Commission

Prepared by: Tyler Eaton, Senior Planner

Approved by: Richard Mollica, Planning Director

Date prepared: February 23, 2023 Meeting date: March 6, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)

Location: 6734 Zumirez Drive, within the appealable coastal zone

ation

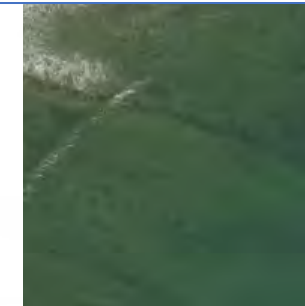


### C. Environmentally Sensitive Habitat Area Overlay (LIP Chapter 4)


As determined by the City Biologist, the LCP ESHA and Marine Resources Map, the subject parcel is in Point Dume and does not contain ESHA. The proposed development is sited on slopes flatter than 4 to 1 consistent with the ESHA requirements. Therefore, the findings of LIP Chapter 4 are not applicable.



**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.



# Subject Property Qualifies as a Bluff?



## Commission Agenda Report

Planning Commission Meeting  
03-06-23  
**Item 4.B.**

To: Chair Smith and Members of the Planning Commission

Prepared by: Tyler Eaton, Senior Planner

Approved by: Richard Mollica, Planning Director

Date prepared: February 23, 2023 Meeting date: March 6, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)

Location: 6734 Zumirez Drive, within the appealable coastal zone  
APN: 4466-002-001  
Owner: IBN Properties, LLC

---

RECOMMENDED ACTION: Adopt Planning Commission Resolution No. 23-11

DISCUSSION: This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

Page 1 of 21  
248

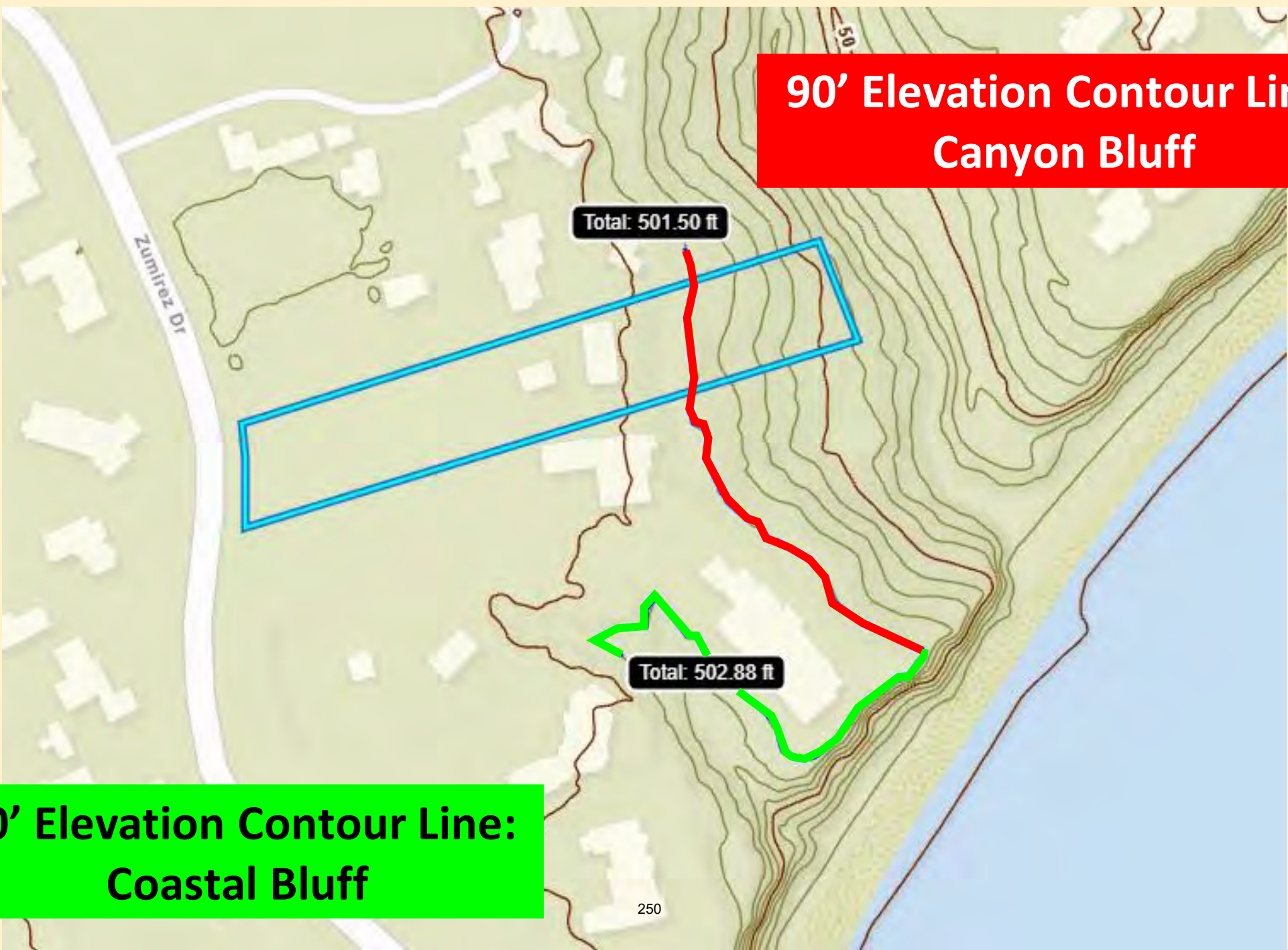
Agenda Item 4.B.

Lastly, the Zicklins contend that the slope along the rear of the subject property qualifies as a bluff and the proposed development is too close to the top of the bluff and Environmentally Sensitive Habitat Area (ESHA).

## LCP LIP Provides the Following Definition in Chapter 2:

**BLUFF EDGE - ... Where a coastal bluff curves landward to become a canyon bluff, the termini of the coastal bluff edge, shall be defined as a point reached by bisecting the angle formed by a line coinciding with the general trend of the coastal bluff line along the seaward face of the bluff, and a line coinciding with the general trend of the bluff line along the canyon facing portion of the bluff. Five hundred feet (500') shall be the minimum length of bluff line or edge to be used in making these determinations.**

**90' Elevation Contour Line:  
Canyon Bluff**



**90' Elevation Contour Line:  
Coastal Bluff**

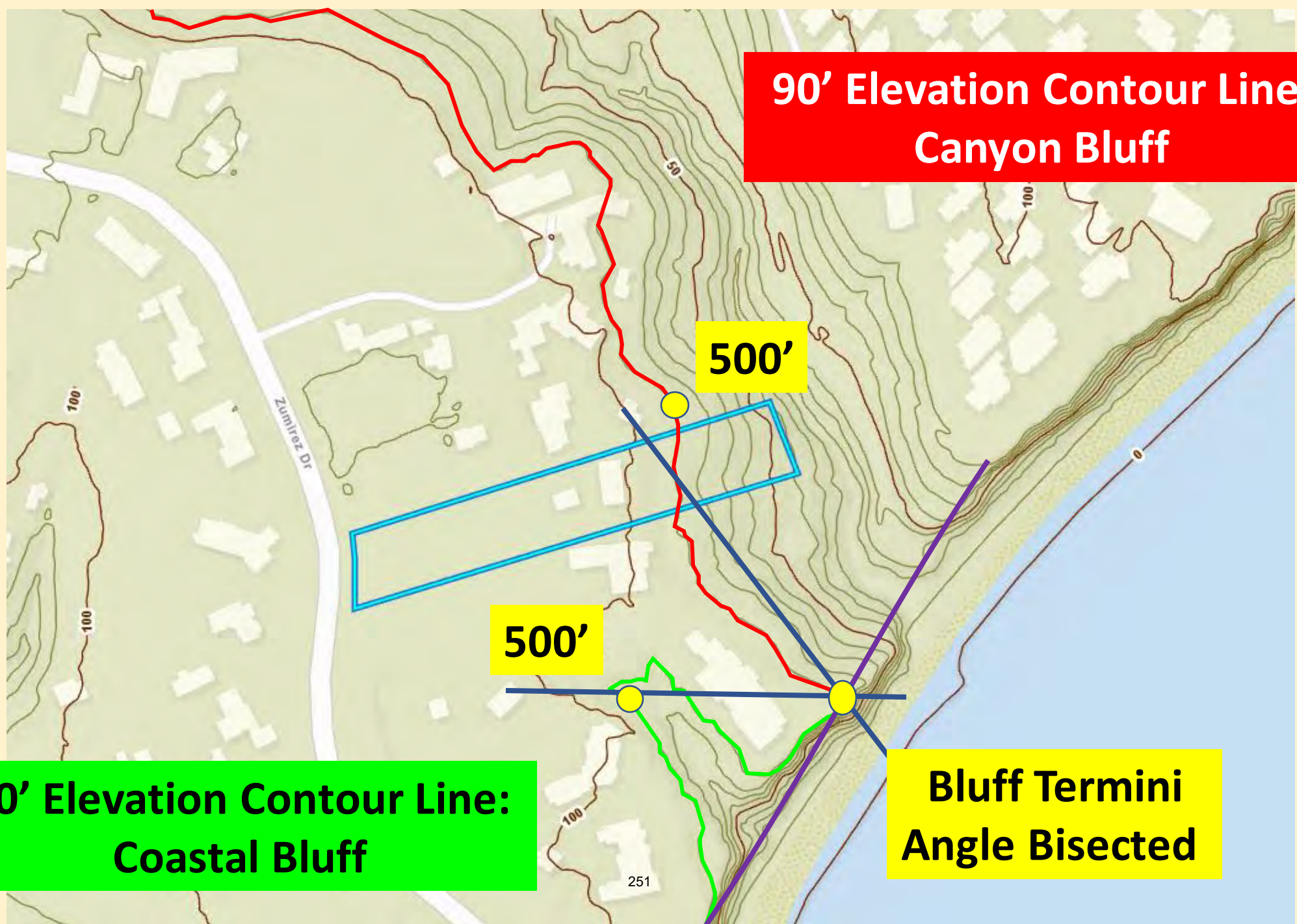
**90' Elevation Contour Line:  
Canyon Bluff**

**500'**

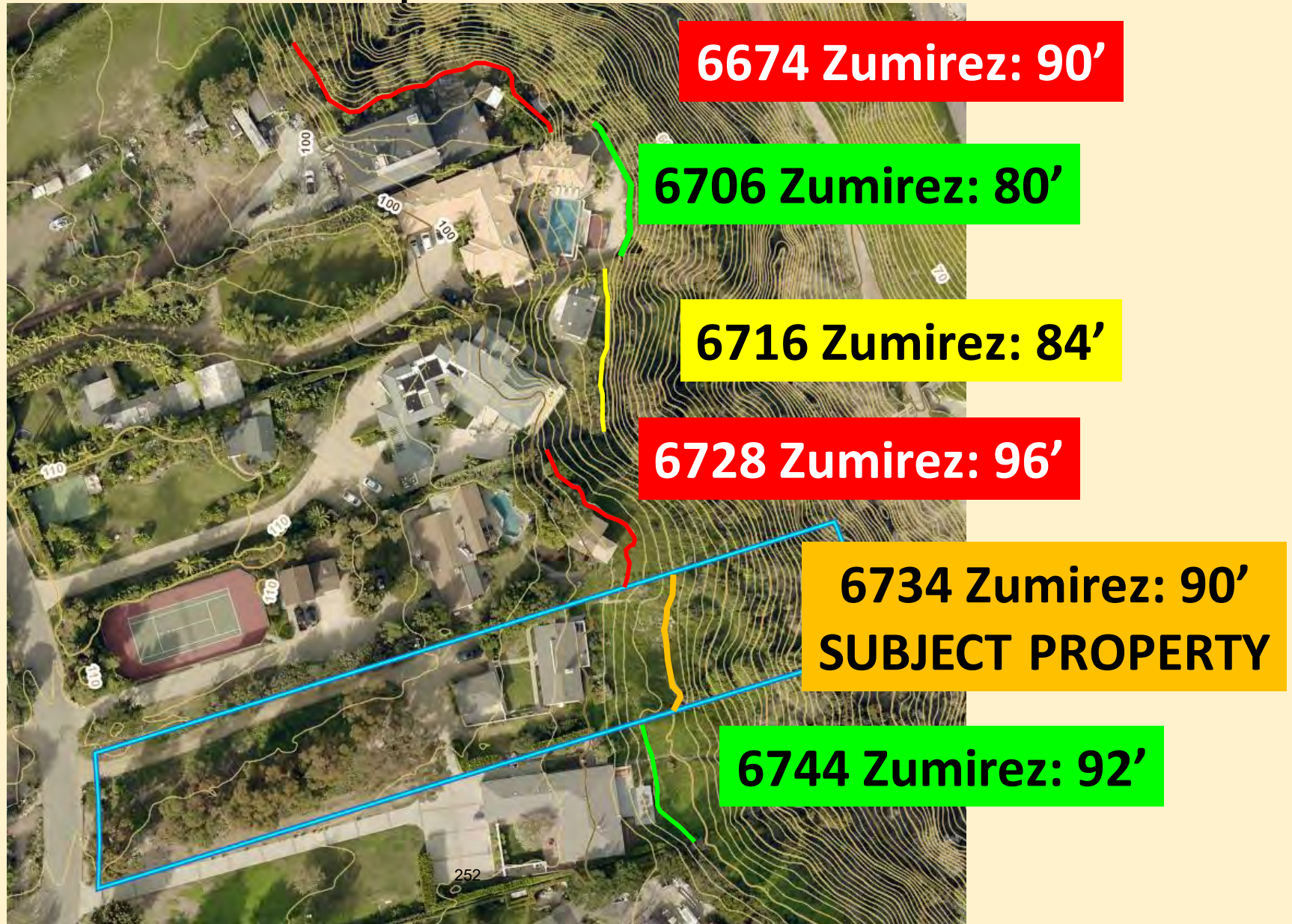
**500'**

**90' Elevation Contour Line:  
Coastal Bluff**

**Bluff Termini  
Angle Bisected**



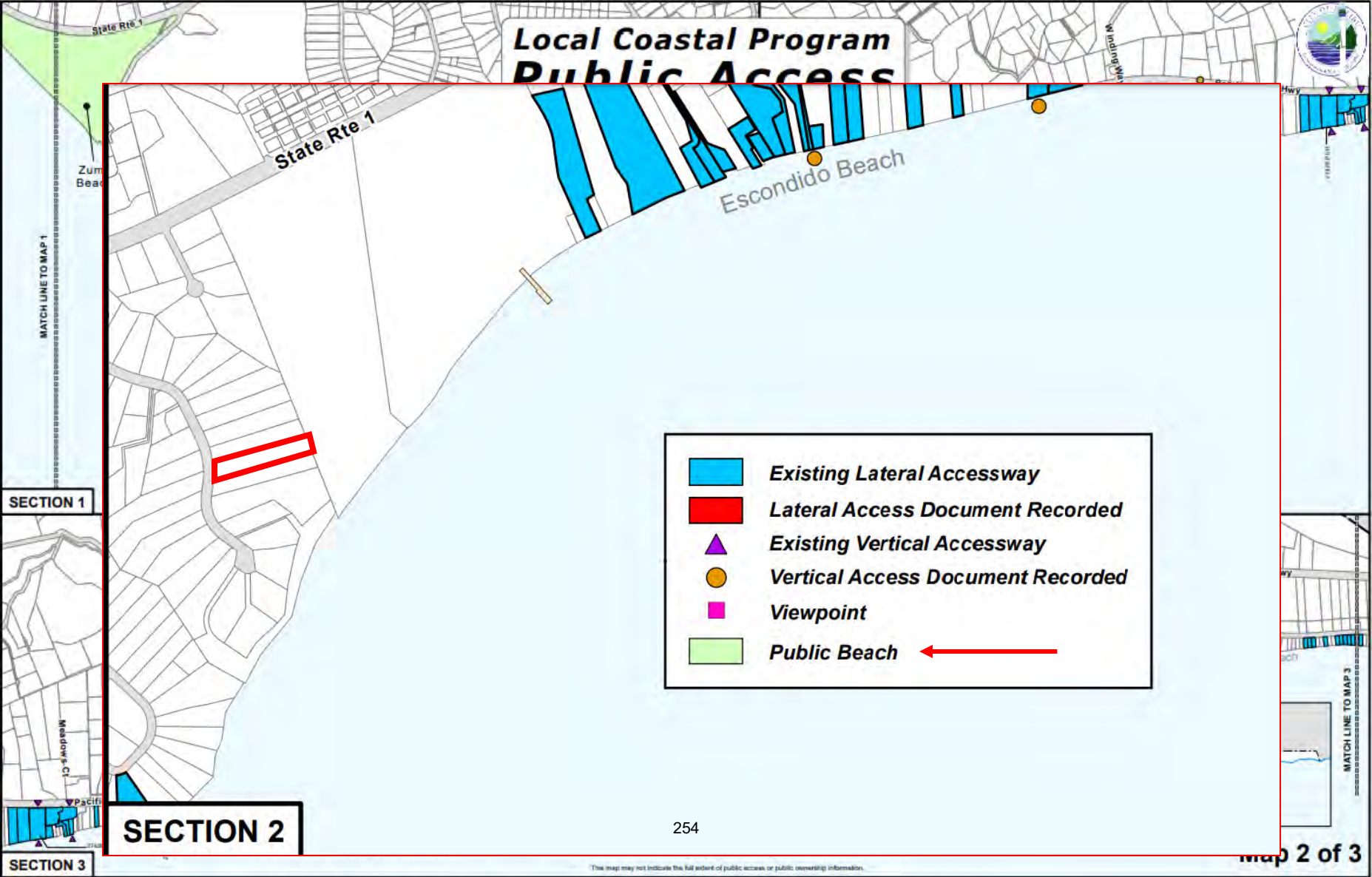
# Elevation-Development Pattern Varies



## LCP LUP Policy 6.2 states:

Places on and along public roads, trails, parklands, and beaches that offer scenic vistas are considered public *viewing* areas. Existing public roads where there are *views* of the ocean and other scenic areas are considered Scenic Roads. Public parklands and riding and hiking trails which contain public *viewing* areas are shown on the LUP Park Map. **The LUP Public Access Map shows public beach parks and other beach areas accessible to the public that serve as public *viewing* areas.**

# No Public Beach, Scenic Resource or Scenic Area within the Proximity of 6734 Zumirez



# Project is Located on Zumirez Drive

	<b>Commission Agenda Report</b>	<div style="border: 1px solid black; padding: 5px; text-align: center;"><small>Planning Commission Meeting 03-06-23</small> <b>Item 4.B.</b></div>
To:	Chair Smith and Members of the Planning Commission	
Prepared by:	Tyler Eaton, Senior Planner	
Approved by:	Richard Mollica, Planning Director	
Date prepared:	February 23, 2023	Meeting date: March 6, 2023
Subject:	Coastal Development Permit No. 20-068, Site Plan Review No. 21-009.	

***Finding 1. The project, as proposed, will have no significant adverse scenic or visual impacts due to project design, location on the site or other reasons.***

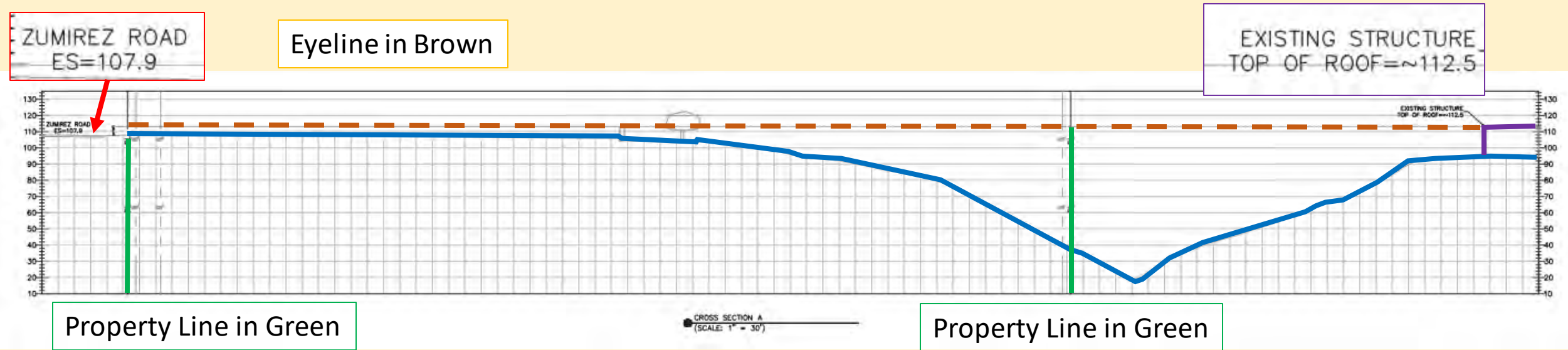
**The proposed project will not have adverse impacts on scenic or visual resources. The project has been determined not to require a view corridor due to its location along Zumirez Drive and although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.**

**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

LCP LIP Section 6.5(E) states:

..... New development on parcels located on the ocean side of public roads, including but not limited to, Pacific Coast Highway, Malibu Road, Broad Beach Road, Birdview Avenue, Cliffside Drive shall protect public ocean views.

# View Corridor Exhibit



100' Above Mean  
Sea Level

100' Above Mean  
Sea Level

Direction of  
View Corridor

ONLY Direction  
of Ocean View

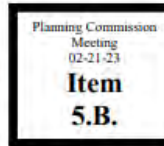


subject site)

# Project will not Have Any Impact on Public Views



## Commission Agenda Report



To: Chair Smith and Members of the Planning Commission  
Prepared by: Tyler Eaton, Senior Planner  
Approved by: Richard Mollica, Planning Director  
Date prepared: February 9, 2023 Meeting date: February 21, 2023  
Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009,  
and Resolution Permit No. 20-000. An application to demolish or

***Finding 1. The project, as proposed, will have no significant adverse scenic or visual impacts due to project design, location on the site or other reasons.***

**The proposed project will not have adverse impacts on scenic or visual resources.** The project has been determined not to require a view corridor due to its location along Zumirez Drive and although visible from a public beach, there will be no impacts to views of the Santa Monica Mountains.

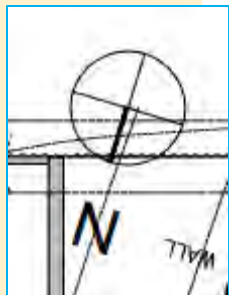
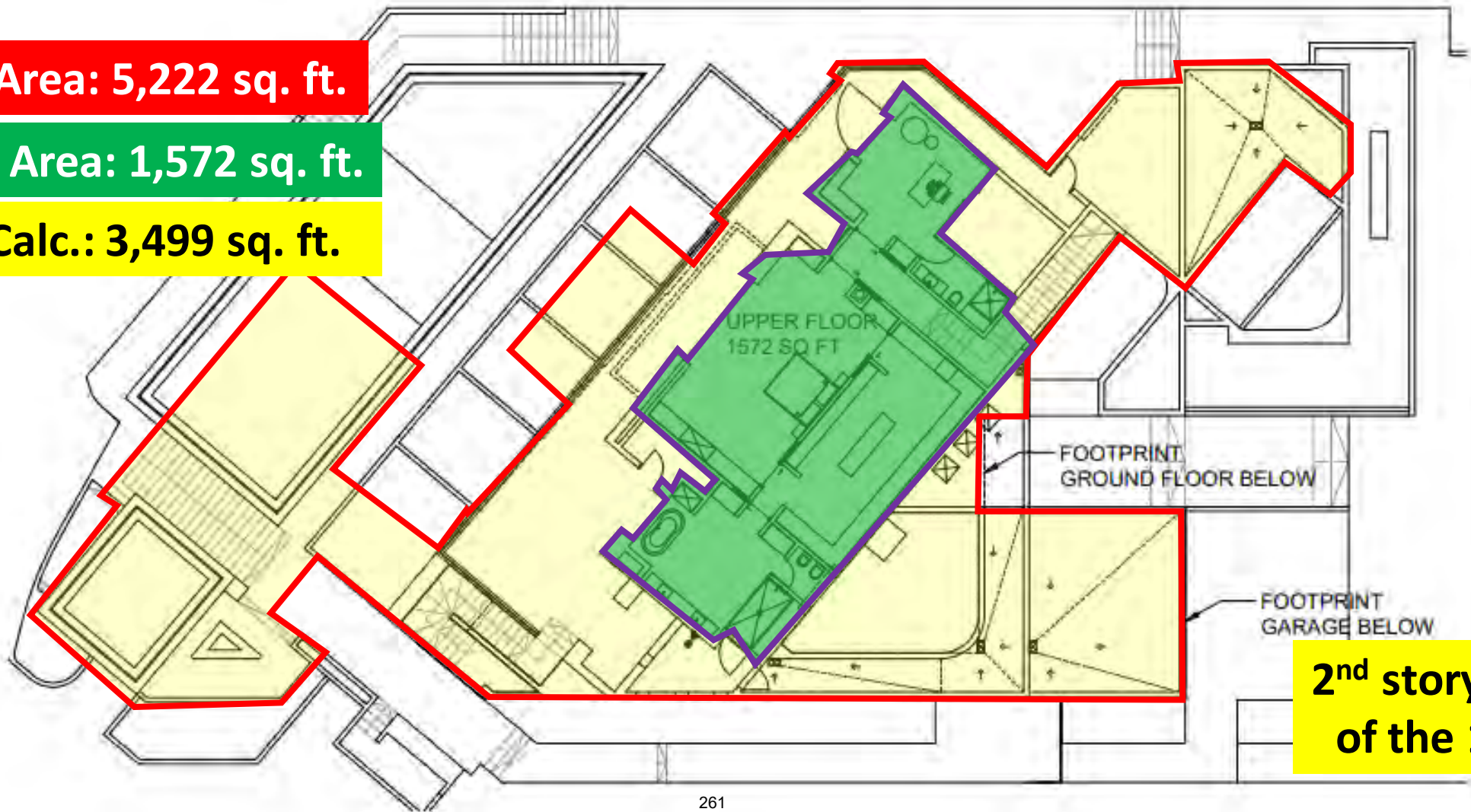
...ing and determining the level of consistency of the project with the LCP, and an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

# Proposed SFR Complies with 2/3 Rule

**1st Story Area: 5,222 sq. ft.**

**2nd Story Area: 1,572 sq. ft.**

**2/3 Rule Calc.: 3,499 sq. ft.**



**2<sup>nd</sup> story is = 30%  
of the 1<sup>st</sup> Story**

**142-Foot Front Yard Setback**

**360 Feet to 2nd Story**

Site plan showing building layout, setbacks, and landscaping details. Annotations include:

- 142-Foot Front Yard Setback (Red arrow)
- 360 Feet to 2nd Story (Yellow arrow)

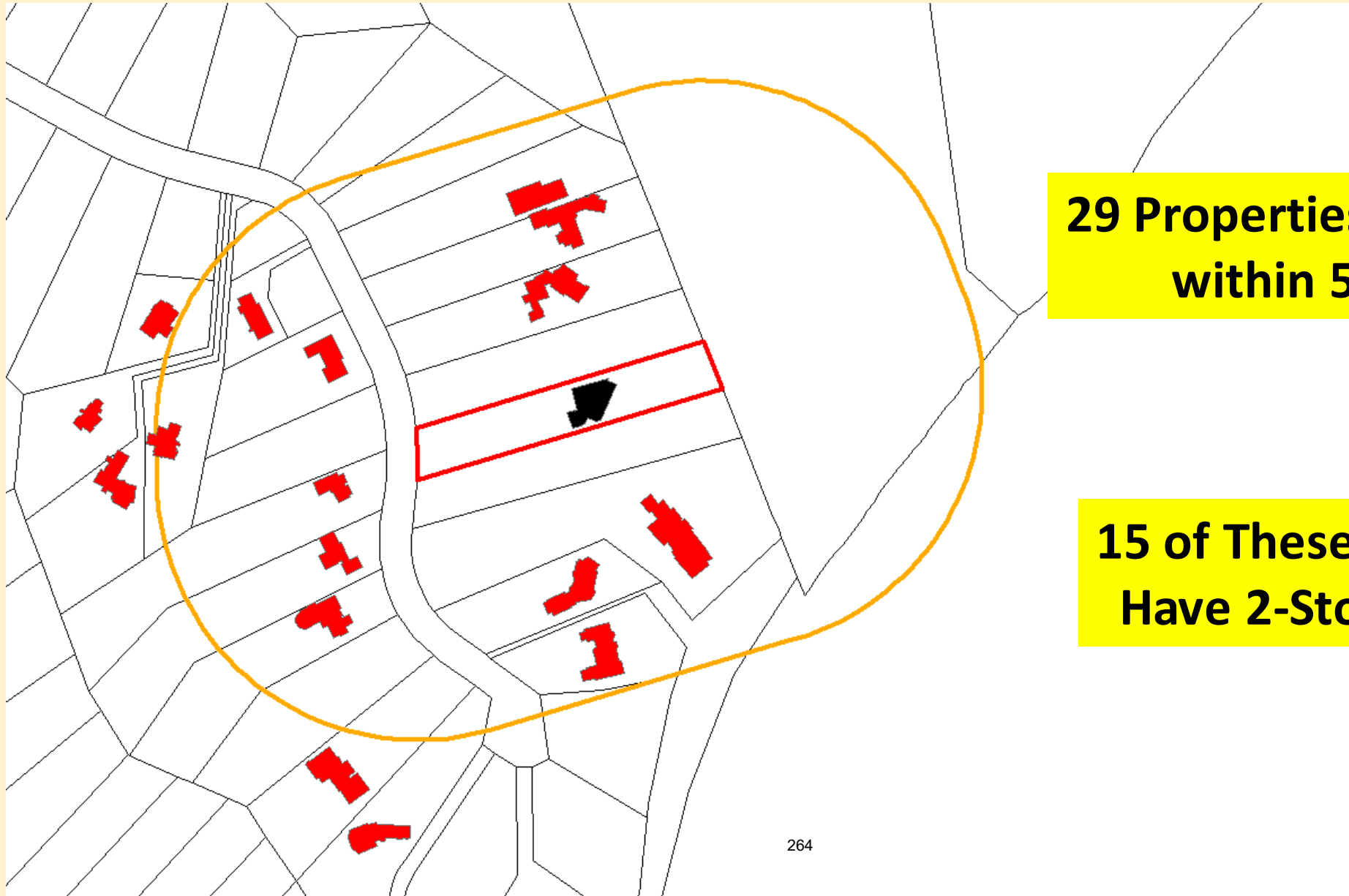
# House Set Back to Minimize Massing & Visibility



**Proposed  
View from  
Zumirez**



# 2-Story Residences on Zumirez within 500 Feet



**29 Properties on Zumirez  
within 500-Feet**

**15 of These Properties  
Have 2-Story Homes**

# 2-Story Residences on Zumirez within 500 Feet



## List of 2-story Residences

6647 Zumirez

6659 Zumirez

6651 Zumirez

6653 Zumirez

6665 Zumirez

6674 Zumirez

6706 Zumirez

6716 Zumirez

6747 Zumirez

6754 Zumirez

6763 Zumirez

6804 Zumirez

6811 Zumirez

6825 Zumirez

6830 Zumirez

# 2-Story Residences on Zumirez within 500 Feet



# 2-Story Residences on Zumirez within 500 Feet



# 2-Story Residences on Zumirez within 500 Feet



# 2-story Home: 6716 Zumirez



2-s

rez



## Commission Agenda Report



To: Chair Moss and Members of the Planning Commission  
Prepared by: Richard Mollica, Associate Planner *RM*  
Reviewed by: CJ Amstrup, AICP, Planning Manager *CA*  
Approved by: Victor Peterson, Environmental and Community Development Director *VP*  
Date prepared: January 31, 2006 Meeting Date: February 21, 2006  
Subject: Coastal Development Permit No. 05-098 and Site Plan Review No. 05-056 — An application to demolish an existing single-family

HEIGHT

18 feet

28 feet (Pitched)

Site Plan  
Review

Application Number: Coastal Development Permit No. 05-098  
Site Plan Review No. 05-056  
Demolition Permit No. 06-001  
Application Filing Date: June 6, 2005  
Applicant: Jamie Hamish  
Owner: Dorothy Zicklin  
Location: 6716 Zumirez Drive within the coastal zone  
APN: 4466-002-003

2/3RDS RULE/  
2<sup>nd</sup> floor sq. ft.

2,753 sq ft

2,399 sq ft

58% of 1<sup>st</sup> Story

Complies

residence and construction of a new, 6,523 square foot, single-family residence, a pool, spa, landscaping, retaining walls, hardscape, an alternative onsite wastewater treatment system (AOWTS), and grading. The application also includes SPR No. 05-056 for a height increase above 18-feet.

# 2-story Home: 6754 Zumirez

**28 Feet Tall**



# PRIVATE VIEW PROTECTION

MMC Section 17.40.040(A)(17) states:

..... The primary view corridor shall exclude the first eighteen (18) feet of the proposed building height as measured from the existing natural grade or finish grade whichever results in a lower building height. ....

# 6706 Zumirez



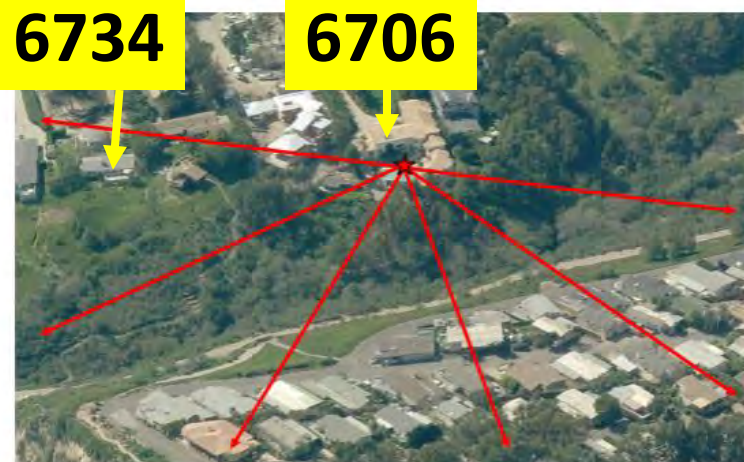
## City of Malibu

23825 Stuart Ranch Rd, Malibu, California 90265-4861  
(310) 456-2489 FAX (310) 456-7650 [www.malibucity.org](http://www.malibucity.org)

### PLANNING DEPARTMENT PRIMARY VIEW DETERMINATION

Primary View Determination: 6706 Zumirez Drive – Griff Snyder

On January 17, 2013, staff conducted a primary view determination at 6706 Zumirez Drive. Staff documented the primary view standing on an outdoor deck, located within ten feet of the exterior wall of the living room, a location chosen by the property owner. The location of the primary view determination photographs were taken from is denoted by a red star in the aerial below:



On January 17, 2013, the view from this location on the property is as follows, from north to south:



# 6716 Zumirez



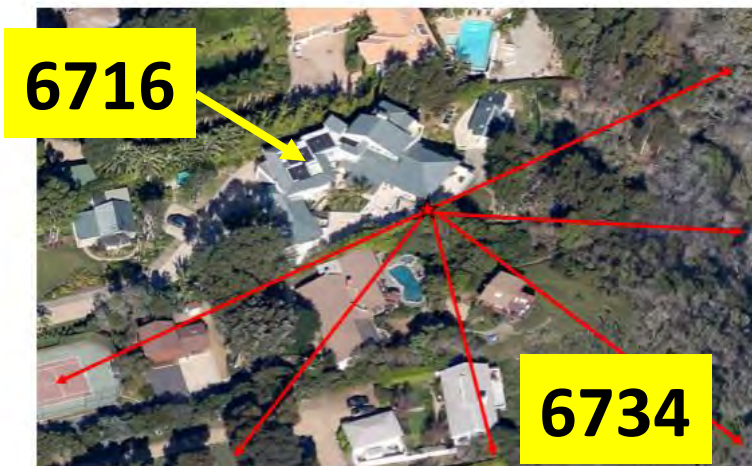
## City of Malibu

23825 Stuart Ranch Rd. Malibu, California 90265-4861  
(310) 456-2489 FAX (310) 456-7650 [www.malibu-city.org](http://www.malibu-city.org)

### PLANNING DEPARTMENT PRIMARY VIEW DETERMINATION

Primary View Determination: 6716 Zumirez Drive – Eric and Dorothy Zicklin

On January 22, 2013, staff conducted a primary view determination at 6716 Zumirez Drive. Staff documented the primary view standing on an outdoor deck, located within ten feet of the exterior wall of the living room, a location chosen by the property owner. The location of the primary view determination photographs were taken from is denoted by a red star in the aerial below.



On January 22, 2013, the view from this location on the property is as follows, from north to south:

## View Looking South: Existing Foliage



# 6716 Zumirez

Figure 2 -Photo from the Zicklins



276

Source: Zicklin Correspondence, September 2022

## MMC Section 17.62.060 states:

For purposes of this section, a site plan review may be approved or conditionally approved if the project meets all of the following criteria:

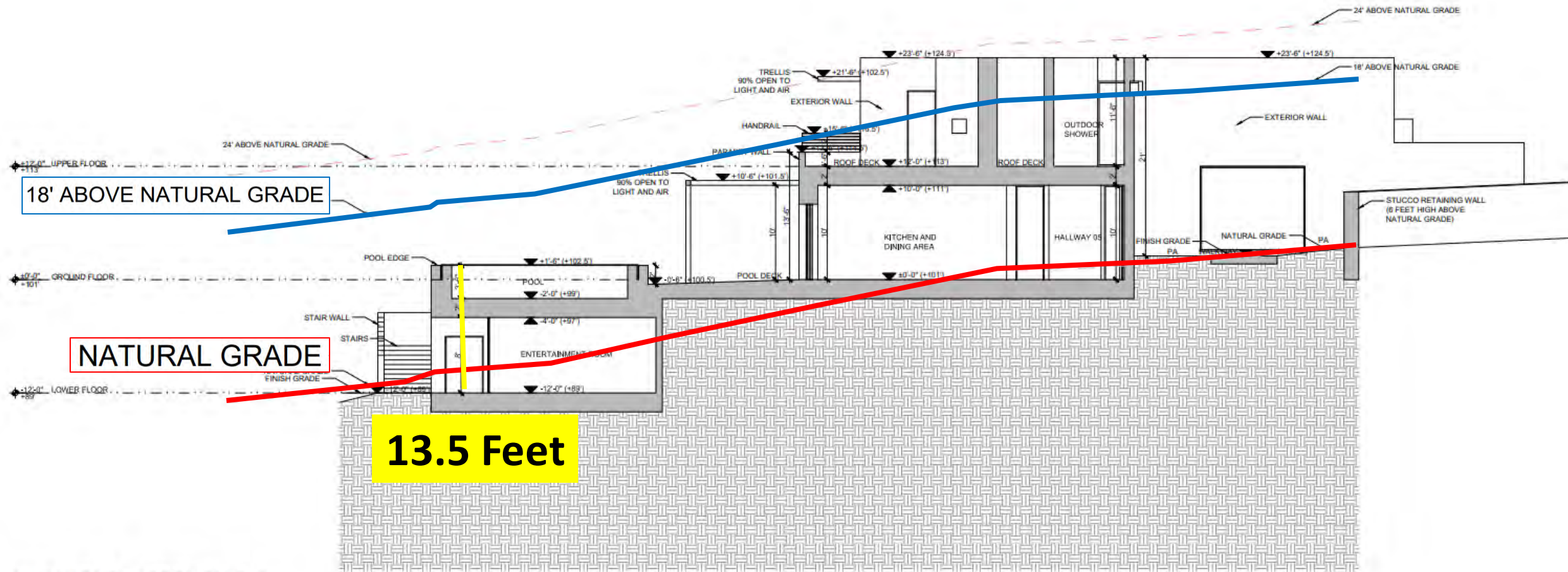
... (2) the portion of the project that is greater than eighteen (18) feet in height does not obstruct visually impressive scenes of the Pacific Ocean, off-shore islands, Santa Monica Mountains, canyons, valleys, or ravines from the main viewing area of any affected principal residence as defined in Section 17.40.040(A)(17) of this code ...

# 6716 Zumirez

Figure 2 -Photo from the Zicklins



# Proposed Section



MAIN HOUSE - SECTION C-C

# 6728 Zumirez



## City of Malibu

23825 Stuart Ranch Rd. · Malibu, California · 90265-4816  
Phone (310) 456-2489 · Fax (310) 456-7650 · [www.malibucity.org](http://www.malibucity.org)

### PLANNING DEPARTMENT

### PRIMARY VIEW DETERMINATION

Primary View Determination: 6728 Zumirez Drive – Penn Family Trust

On December 14, 2022, staff conducted a primary view determination at 6728 Zumirez Drive. Pursuant to Malibu Municipal Code Section 17.45.050, staff captured the primary view on the patio abutting the living room of the single-family residence, facing southeast, a location chosen by the property owner. The property and recorded view is denoted in the neighborhood map (Exhibit1) below.



Exhibit 1: Neighborhood map showing 6728 Zumirez Drive and recorded view. (Source: City of Malibu GIS, 2023)



View 4 – Looking South.

# 6728 Zumirez

18 Feet

However, this portion of the residence and deck is under 18 feet in height and is not subject to the requested site plan review. The portion of the residence over 18 feet in height will not obstruct any bluewater views from the neighbor's documented PVD.

# Pool Deck design Maximizes Privacy

**Proposed SFR  
Buffers Sound**

**Pool Deck not Visible  
From 6716 & 6728  
Zumirez**


# Project will have NO Adverse Impact on Primary Views



## *Finding 2. The project does not adversely affect neighborhood character.*

Story poles were installed in June 2022. Staff visited the project site in June 2022, photo-documented the story poles and evaluated the project for conformance with City codes. Properties in the vicinity of the subject property are developed with a mix of one and two-story single-family residences and accessory structures such as second units, detached garages, and swimming pools. As demonstrated with story poles, due to the size, shape, and topography of the lot, the location of the proposed development will not be visible from any scenic road or located within primary views of neighboring properties. The site is visible from Paradise Cove Beach but is on the landside and will not affect scenic views of the Santa Monica Mountains or other coastal resources. Based on the existing development within the surrounding neighborhood, the proposed project is expected to blend with the surrounding built environment. Therefore, the portions of the structure exceeding 18 feet tall are not anticipated to adversely affect neighborhood character.

# Project will have NO Adverse Impact on Primary Views

	<h2>Commission Agenda Report</h2>	<div style="border: 1px solid black; padding: 5px; text-align: center;"><small>Planning Commission Meeting 03-06-23</small> <b>Item 4.B.</b></div>
To:	Chair Smith and Members of the Planning Commission	
Prepared by:	Tyler Eaton, Senior Planner	
Approved by:	Richard Mollica, Planning Director	
Date prepared:	February 23, 2023	Meeting date: March 6, 2023
Subject:	<u>Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)</u>	
Location:	6734 Zumirez Drive, within the appealable coastal zone	
APN:	4466-002-001	

As stated in Finding 2, the proposed development will not significantly impede any private visually impressive views of the Pacific Ocean or other scenic areas indicated in the LCP or MMC.

the Rural Residential, One-Acre (RR-1) zoning district at 6734 Zumirez Drive (IBN Properties, LLC).

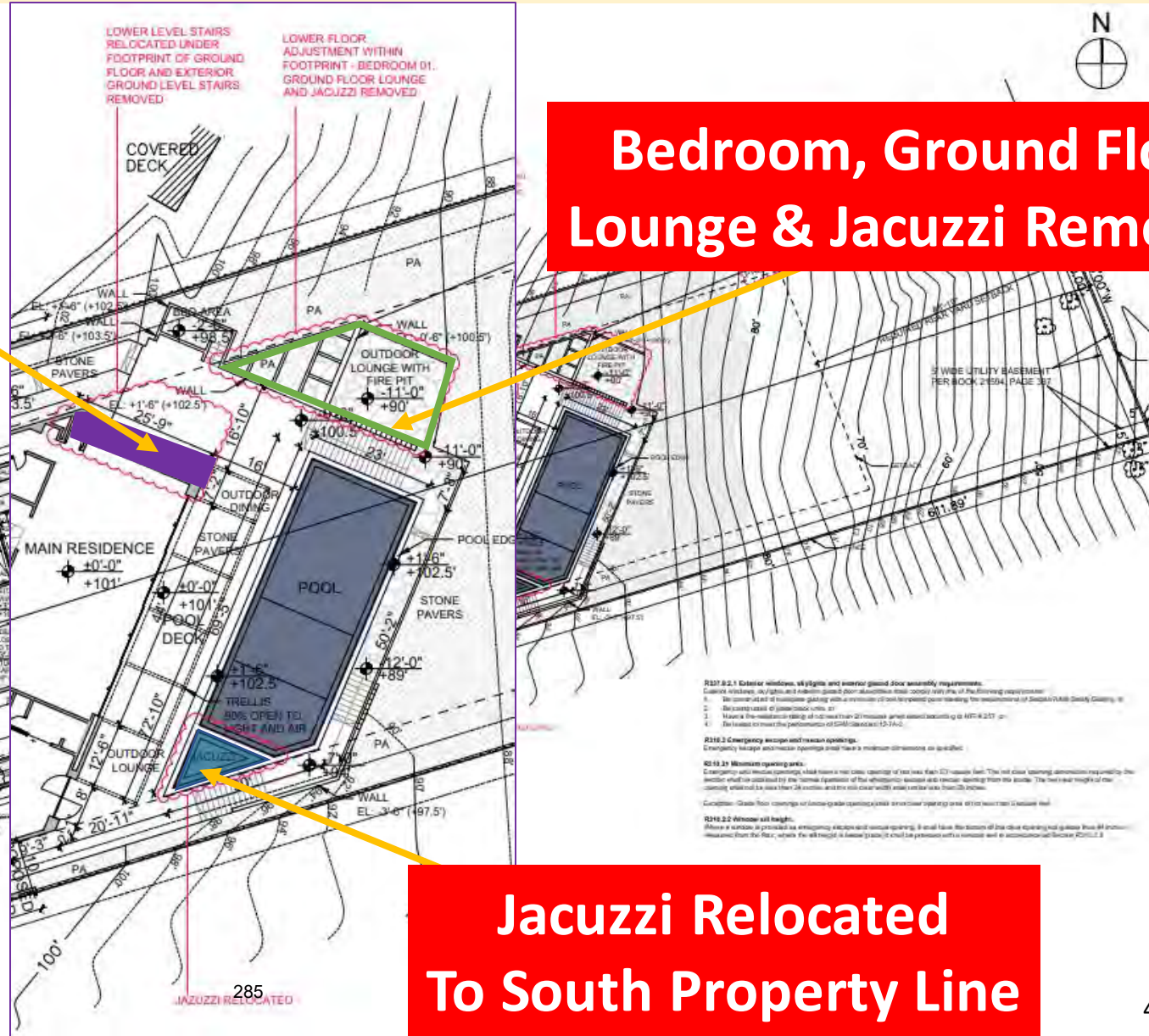
**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.

# Revised Site Plan

**Lower Level Stairs  
Relocated & Exterior  
Ground Level Stairs  
Removed**

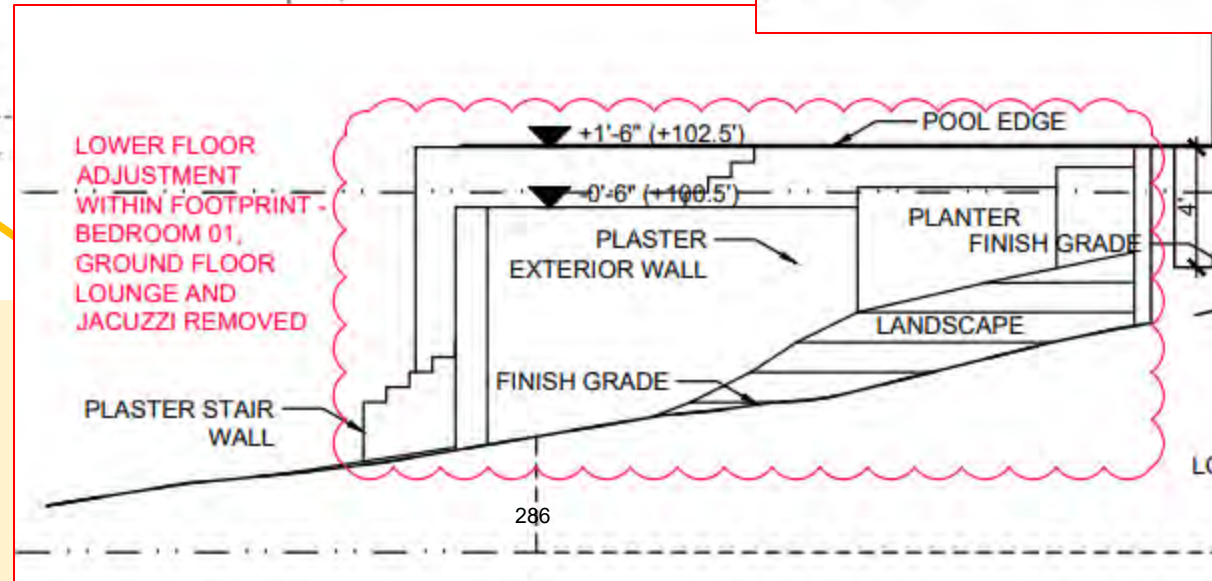
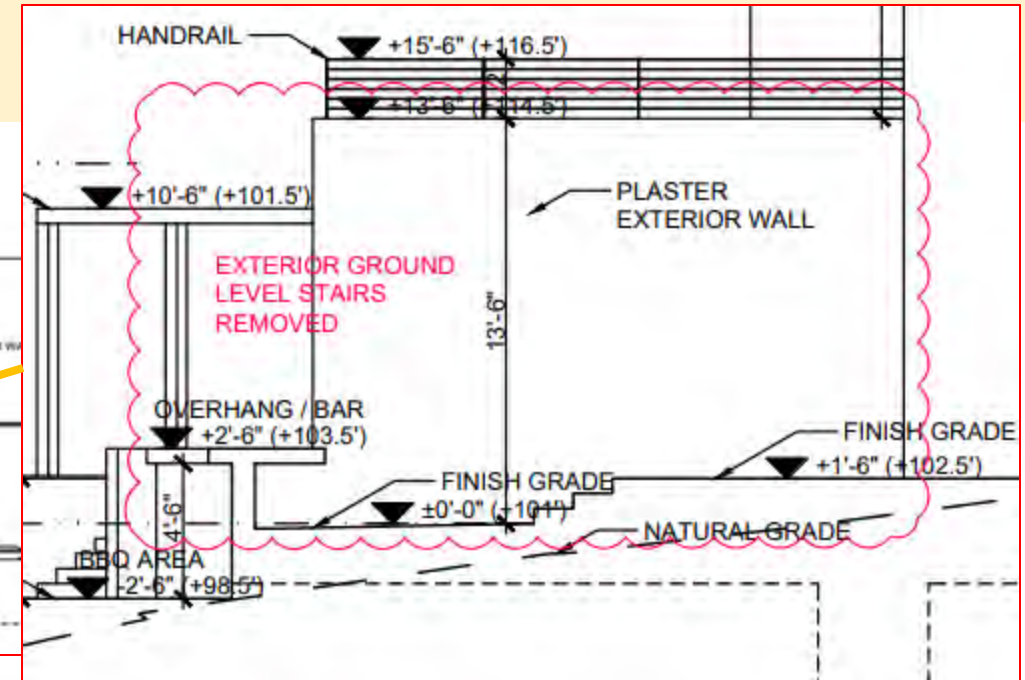
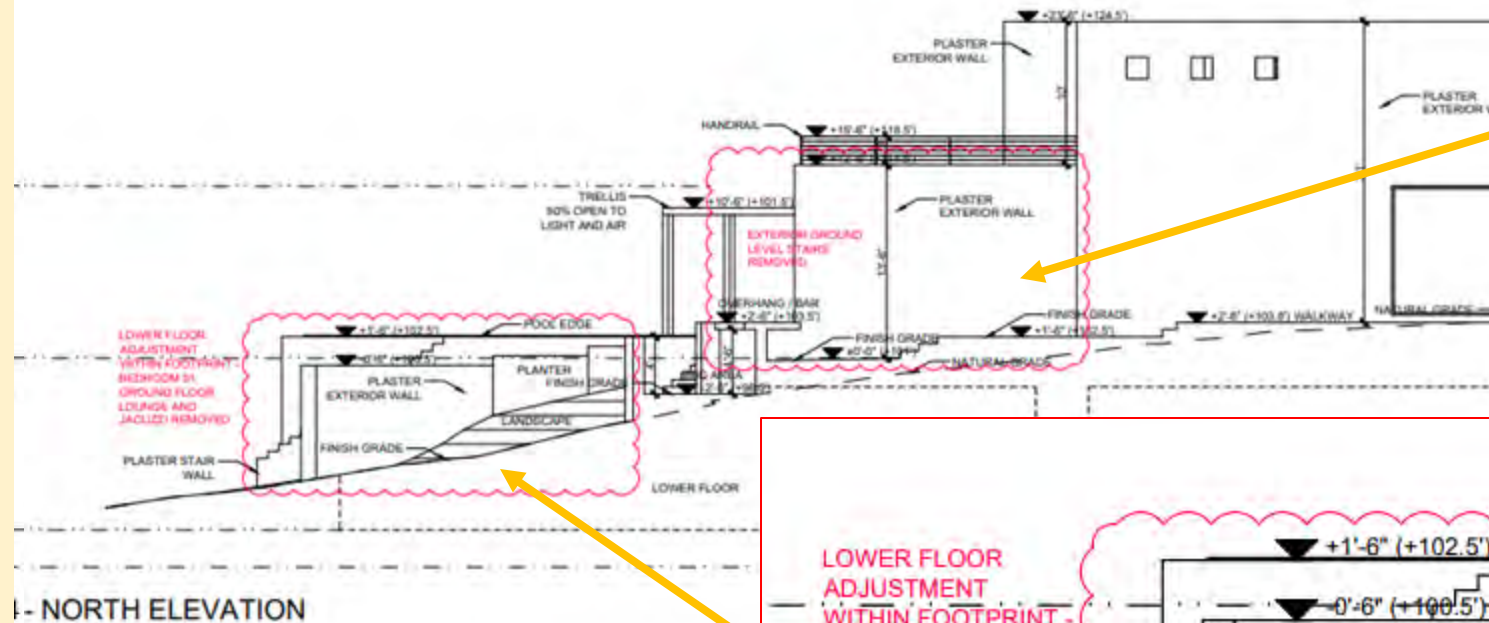
## Bedroom, Ground Floor Lounge & Jacuzzi Removed

## Jacuzzi Relocated To South Property Line



# Revised Elevation

**Exterior Ground  
Level Stairs Removed**



**Bedroom, Ground  
Floor Lounge  
& Jacuzzi Removed**

# Revised Rendering



# 6716 Zumirez

Figure 2 -Photo from the Zicklins



THANK YOU

# 6716 Zumirez

Figure 2 -Photo from the Zicklins



Section 17.40.040(A)(17) states:

..... The primary view corridor shall exclude the first eighteen (18) feet of the proposed building height as measured from the existing natural grade or finish grade whichever results in a lower building height. ....

# 6728 Zumirez

18 Feet

However, this portion of the residence and deck is under 18 feet in height and is not subject to the requested site plan review. The portion of the residence over 18 feet in height will not obstruct any bluewater views from the neighbor's documented PVD.

# Jamie Harnish Correspondence, March 3, 2023

**From:** jaime harnish <[REDACTED]>  
**Sent:** Friday, March 3, 2023 4:12 PM  
**To:** Tyler Eaton; [REDACTED]; Eric Zicklin; dottie zicklin; Ryan Levis; scott halley  
**Cc:** Patricia Salazar; Rebecca Evans; brandee; josh brolin; jac brolinproductions  
**Subject:** Re: 6734 Zumirez dr.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brandee,

I see that Josh has written a letter in favor of the new house at 6734 Zumirez. I do not think that Josh is aware that many neighbors are affected by the proposed encroachment of the project up to the top of the ravine blocking at least three neighbors' views of the ocean. The neighbors are collectively asking that the developer move the house appx. 35 feet from the top of the ravine towards the street which will still allow the house to be built and preserving its views. Please note that Eric and Dottie Zicklin, Shaun Penn and family and Janet Friesen all will have their ocean views impacted. Steve and Lisa Hilton Family across the street are also not happy with the design. The neighbors are not opposed to reasonable development but not when it encroaches to the top of a ravine with stream below

**Janet Friesen all will have their ocean views impacted.**

neighbors' views. This project does not protect their views or the habitat value of the ravine. Thank You, hope you are all well.

JAIME HARNISH  
P.O. BOX 6363  
Malibu, CA. 90264  
[REDACTED]  
29178 Heathercliff rd.  
Malibu, CA. 90265  
[REDACTED]

# Subject Property is North of Janet Friesen's Residence

**Subject  
Property**

**Friesen  
Residence**

**Pacific  
Ocean**



# Jamie Harnish Correspondence, March 3, 2023

**From:** jaime harnish <[REDACTED]>  
**Sent:** Friday, March 3, 2023 4:12 PM  
**To:** Tyler Eaton; [REDACTED]; Eric Zicklin; dottie zicklin; Ryan Levis; scott halley  
**Cc:** Patricia Salazar; Rebecca Evans; brandee; josh brolin; jac brolinproductions  
**Subject:** Re: 6734 Zumirez dr.

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Brandee,

I see that Josh has written a letter in favor of the new house at 6734 Zumirez. I do not think that Josh is aware that many neighbors are affected by the proposed encroachment of the project up to the top of the ravine blocking at least three neighbors' views of the ocean. The neighbors are collectively asking that the developer move the house appx. 35 feet from the top of the ravine towards the street which will still allow the house to be built and preserving its views. Please note that Eric and Dottie Zicklin, Shaun Penn and

**This project does not protect their views or the habitat value of the ravine.**

reasonable development but not when it encroaches to the top of a ravine with stream below that would severely impact their views of the ocean and habitat value of the ravine. The existing pattern of development on this side of the street has been designed to protect neighbors' views. This project does not protect their views or the habitat value of the ravine. Thank You, hope you are all well.

JAIME HARNISH  
P.O. BOX 6363  
Malibu, CA. 90264  
[REDACTED]  
29178 Heathercliff rd.  
Malibu, CA. 90265  
[REDACTED]

# Overlapping Fuel Modification



Over



## Commission Agenda Report

Planning Commission  
Meeting  
03-06-23  
**Item  
4.B.**

To: Chair Smith and Members of the Planning Commission

Prepared by: Tyler Eaton, Senior Planner

Approved by: Richard Mollica, Planning Director

Date prepared: February 23, 2023 Meeting date: March 6, 2023

Subject: Coastal Development Permit No. 20-068, Site Plan Review No. 21-009, and Demolition Permit No. 20-028 – An application to demolish an existing single-family residence and construct a new single-family residence, second unit and associated development (Continued from February 21, 2023)

Location: 6734 Zumirez Drive, within the appealable coastal zone

ation

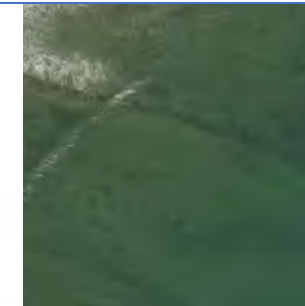


### C. Environmentally Sensitive Habitat Area Overlay (LIP Chapter 4)

As determined by the City Biologist, the LCP ESHA and Marine Resources Map, the subject parcel is in Point Dume and does not contain ESHA. The proposed development is sited on slopes flatter than 4 to 1 consistent with the ESHA requirements. Therefore, the findings of LIP Chapter 4 are not applicable.



**DISCUSSION:** This agenda report provides a project overview, a summary of project setting and surrounding land uses, a description of the project scope, an analysis of the project's consistency with applicable provisions of the Malibu Local Coastal Program (LCP) and Malibu Municipal Code (MMC), and environmental review pursuant to CEQA. The analysis and findings contained herein demonstrate the project is consistent with the LCP and MMC.



# 2-Story Residences on Zumirez within 500 Feet



## List of 2-story Residences

6647 Zumirez

6659 Zumirez

6651 Zumirez

6653 Zumirez

6665 Zumirez

6674 Zumirez

6706 Zumirez

6716 Zumirez

6747 Zumirez

6754 Zumirez

6763 Zumirez

6804 Zumirez

6811 Zumirez

6825 Zumirez

6830 Zumirez

# Project Designed to Comply with LCP



Planning Commission  
Meeting  
03-06-23

Table 3 – LCP Zoning Conformance			
Development Requirement	Allowed/ Required	Proposed	Comments
<b>SETBACKS (ft.)</b>			
Front Yard	65 ft.	142 ft., 5 in.	<u>Complies</u>
Rear Yard	88 ft., 10 in.	139 ft. 6 in.	<u>Complies</u>
10% Side Yard (south)	9 ft., 10 in.	9 ft., 10 in.	<u>Complies</u>
25% Cumulative Yard	24 ft., 7 in.	24 ft., 7 in.	<u>Complies</u>
<b>PARKING</b>			
Enclosed	2	4	<u>Complies</u>
Unenclosed	2	2	<u>Complies</u>
<b>TDSF</b>	7,760 sq. ft.	7,727 sq. ft.	<u>Complies</u>
<b>IMPERMEABLE COVERAGE</b>	17,428 sq. ft.	14,076 sq. ft.	<u>Complies</u>
<b>HEIGHT (ft.)</b>	18 ft.	24 ft. (Flat Roof)	SPR 21-009
<b>1<sup>st</sup> Floor x 2/3<sup>rds</sup> = 2<sup>nd</sup> Floor square feet</b>	5,222 sq. ft. x 2/3 = 3,499 sq. ft.	1,572 sq. ft.	<u>Complies</u>
<b>SITE OF CONSTRUCTION</b>	Flatter than 4 to 1	Flatter than 4 to 1	<u>Complies</u>
<b>NON-EXEMPT GRADING</b>	< 1,000 cubic yards	920 cubic yards	<u>Complies</u>
<b>FENCES/WALLS/HEDGES/GATES</b>			
Front Yard	42-inches solid w/ area up to six feet to remain view permeable	42-inches solid w/ area up to six feet to remain view permeable	<u>Complies</u>

# Neighbors' Representative Agrees This Project Meets City Requirements

**From:** Scott Halley [REDACTED]

**Sent:** Friday, February 24, 2023 11:27 AM

Don,

In response to your email, since we are friends, what would you do if one of your best clients and friend called and asked you to assist them with this project? I agree this project meets all the city requirements. My client never had the opportunity to see a plan, to see what you proposed, no one contacted them until the story poles were erected. After talking with your client, he said that you sent the plans to all the neighbors. Do you have a receipt that these neighbors received the plans? In my opinion and the opinion of the neighbors, this project destroys their view and the value of their property tremendously. Especially, with the deck that is proposed, we all know that even if you put restrictions on for things like umbrellas, etc., it is going to become a party deck that will destroy the ocean view that these people have had for the past 50 years.

I do have the full authority from my client and the two neighbors to discuss what they feel is a reasonable alternative and once we come to an agreement, they obviously will have the final say on how to proceed. I am available any time during the week, rain, or shine, to meet at my client's property to discuss what would be acceptable to my client and the neighbors.

Thanks,  
Scott

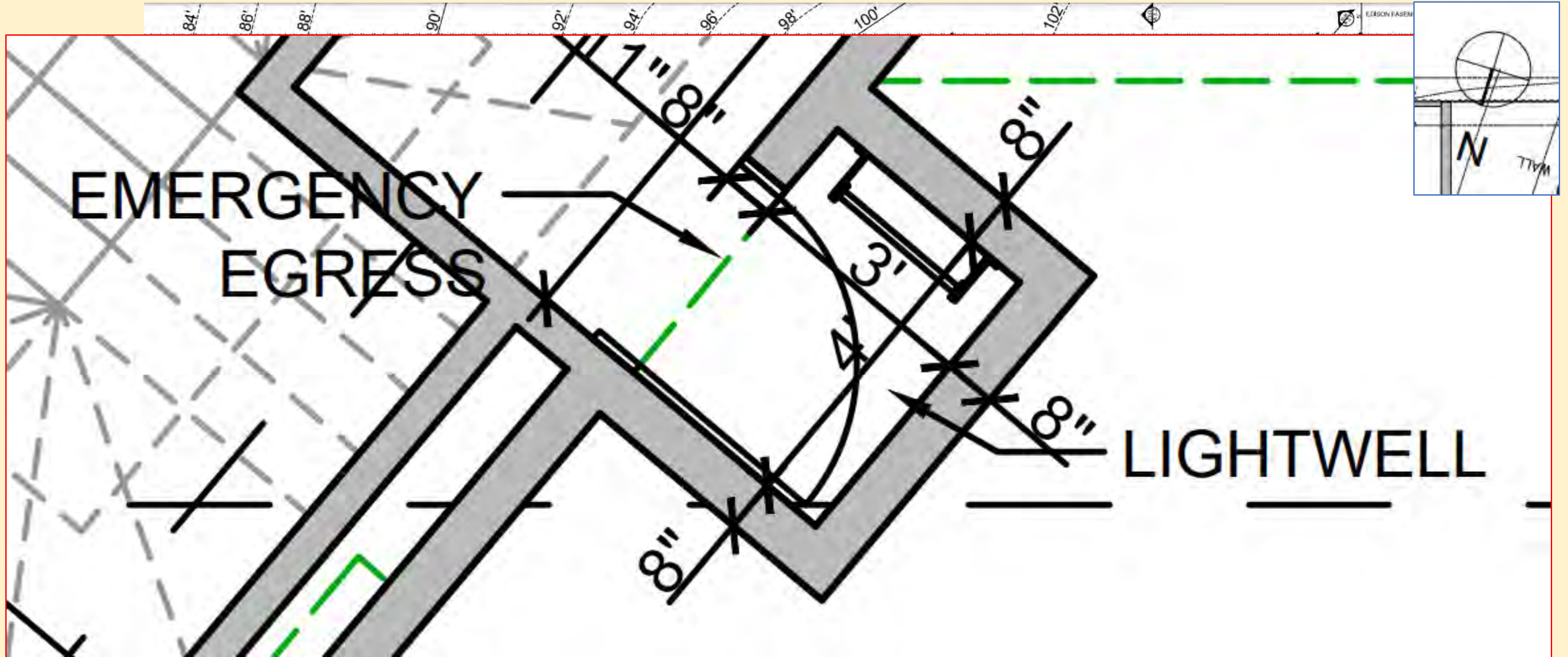
**I agree this project meets all the city requirements.**

# CONCLUSION

- Property is Highly Developed and Disturbed
- Proposed Development is Sited on Slopes Flatter than 4:1
- Proposed Residence Not Visible from Scenic Resources or Scenic Areas
- No Portion of Development is Located Within Protected Primary Views
- No New Fuel Modification Proposed
- Project is Consistent with MMC and LCP

THANK YOU

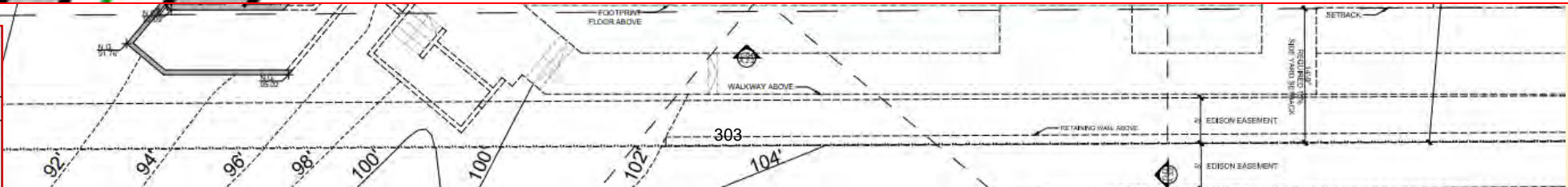
# Basement Egress



MAIN RESIDENCE - PROPOSED  
LOWER FLOOR AND BASEMENT  
PLAN

DRAWING NO.

A-1.1



# 2-Story Residences on Zumirez within 500 Feet

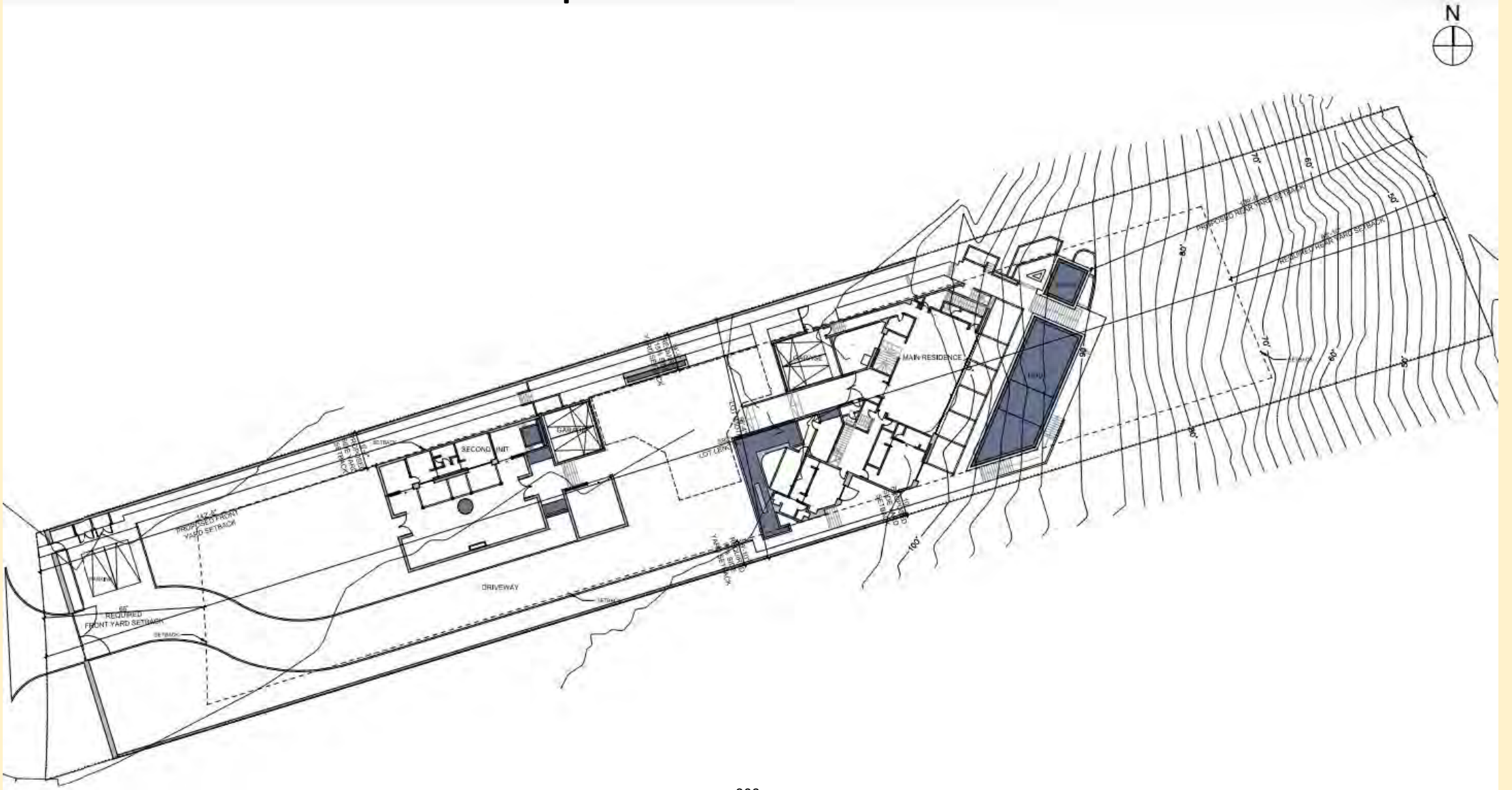


**6734  
Zumirez**

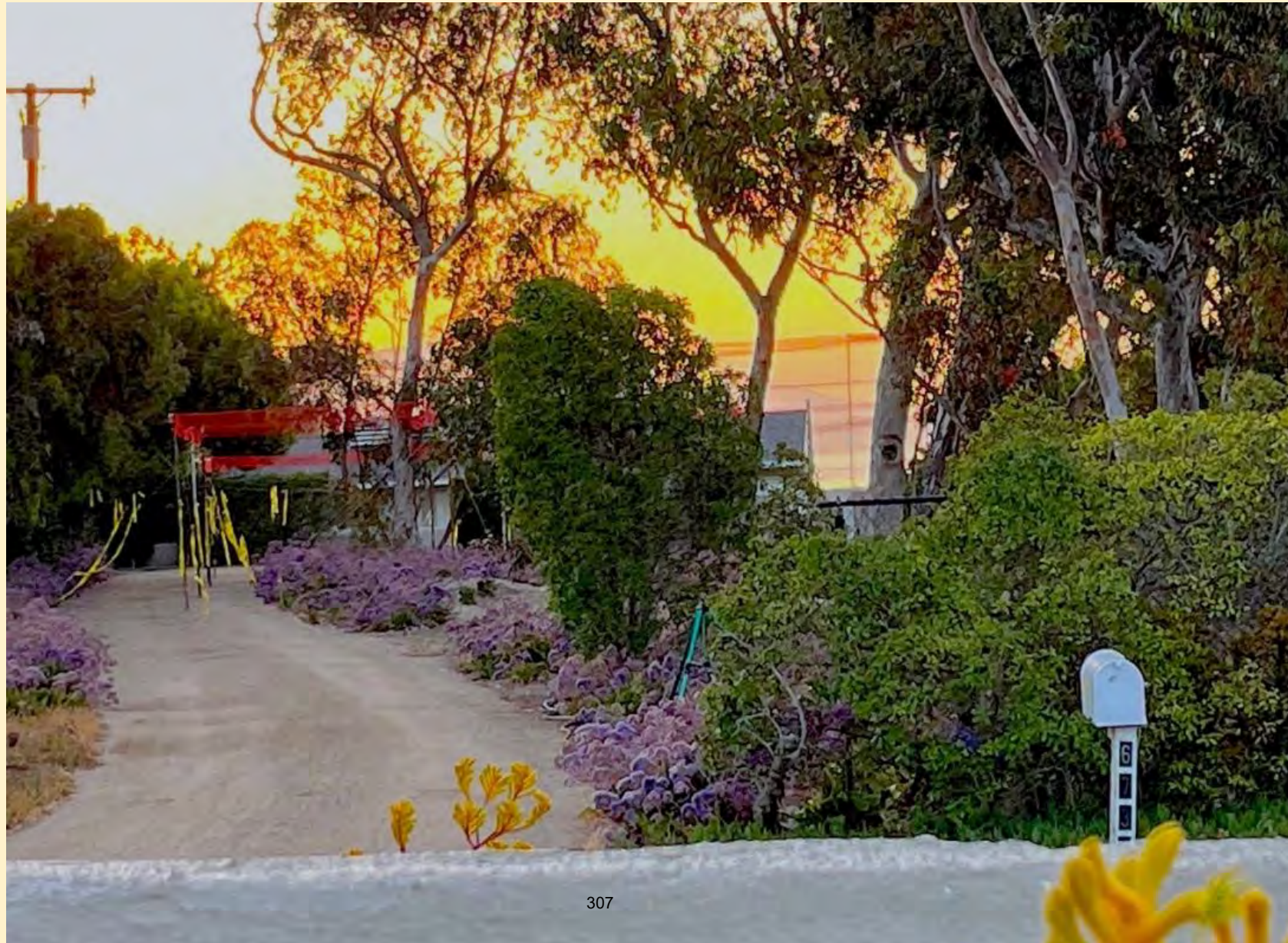
LCP LIP Section 6.5(E)(2)(b) states:

The remaining 20 percent of lineal frontage shall be maintained as one contiguous view corridor.....

# Proposed Site Plan



# View from 6725 Zumirez





City Of Malibu  
23825 Stuart Ranch Road  
Malibu, CA 90265  
Phone (310) 456-2489  
[www.malibucity.org](http://www.malibucity.org)

**PLANNING DEPARTMENT  
NOTICE OF PUBLIC HEARING**



**NOTICE OF PUBLIC HEARING**

The Malibu City Council will hold a public hearing on **Monday, September 11, 2023, at 6:30 p.m.** for the project identified below in the Council Chambers at Malibu City Hall, 23825 Stuart Ranch Road, Malibu, CA, and via teleconference.

**COASTAL DEVELOPMENT PERMIT NO. 20-068, SITE PLAN REVIEW NO. 21-009, AND DEMOLITION PERMIT NO. 20-028** - An application for the demolition of the existing single-family residence, construction of a new 6,284 square foot single-family residence, basement, 510 square foot attached garage and 462 square foot detached garage, 471 square foot second unit, pool and spa, cabana, onsite wastewater treatment system and associated development, and a site plan review for construction up to 24 feet in height to allow for a flat roof

**LOCATION / APN / ZONING:** 6734 Zumirez Dr / 4466-002-001 / Rural Residential-One Acre (RR-1)  
**APPLICANT / OWNER:** Schmitz and Associates, Inc. / IBN Properties, LLC  
**APPEALABLE TO:** California Coastal Commission  
**ENVIRONMENTAL REVIEW:** Categorical Exemption CEQA Guidelines Sections 15303(a) and 15303(e)  
**APPLICATION FILED:** December 29, 2020  
**CASE PLANNER:** Tyler Eaton, Senior Planner, [teaton@malibucity.org](mailto:teaton@malibucity.org)  
(310) 456-2489, ext. 273

A written staff report will be available at or before the hearing for the project. All persons wishing to address the Council regarding these matters will be afforded an opportunity in accordance with the Council's procedures. Copies of all related documents can be reviewed by any interested person by appointment at City Hall during regular business hours. Oral and written comments may be presented to the City Council on, or before, the date of the meeting.

**COASTAL COMMISSION APPEAL** - An aggrieved person may appeal the City Council's approval directly to the Coastal Commission within 10 working days of the issuance of the City's Notice of Final Action. More information may be found online at [www.coastal.ca.gov](http://www.coastal.ca.gov) or by calling 805-585-1800.

IF YOU CHALLENGE THE CITY'S ACTION IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY, AT OR PRIOR TO THE PUBLIC HEARING.

RICHARD MOLLICA, Planning Director

Date: August 17, 2023